

CITY OF RENTON, WASHINGTON

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF RENTON, WASHINGTON, AMENDING CHAPTER 4-2, ZONING DISTRICTS – USES AND STANDARDS, CHAPTER 4-3, ENVIRONMENTAL REGULATIONS AND OVERLAY DISTRICTS, CHAPTER 4-4, CITY-WIDE PROPERTY DEVELOPMENT STANDARDS, CHAPTER 4-8, PERMITS- GENERAL AND APPEALS, AND CHAPTER 4-11, DEFINITIONS, OF TITLE IV (DEVELOPMENT REGULATIONS) OF ORDINANCE NO. 4260 ENTITLED “CODE OF GENERAL ORDINANCES OF THE CITY OF RENTON, WASHINGTON” BY CHANGING THE ZONING REGULATIONS IMPLEMENTING THE CENTER VILLAGE COMPREHENSIVE PLAN DESIGNATION, INCLUDING THE RESIDENTIAL-14 (R-14) ZONE AND CENTER VILLAGE (CV) ZONE, AND ENACTING DESIGN REGULATIONS.

WHEREAS, the Vision for the Center Village calls for the modification of the existing, low-density suburban land use pattern; and

WHEREAS, Comprehensive Plan Strategy 319.1 requires the evaluation of commercial and residential development standards in the Center Village Land Use Designation to ensure better implementation of the Center Village policies; and

WHEREAS, Strategy 319.1 calls for the replacement of existing zoning that does not implement the Center Village Vision; and

WHEREAS, the R-10 zone does not implement the Center Village vision for medium to high density residential development; and

WHEREAS, the Center Village zone includes uses that are incompatible with high density housing; and

WHEREAS, the Center Village Land Use policies promote high standards of design, pedestrian orientation, development of alleys, and the clustering of commercial and civic uses; and

WHEREAS, the Comprehensive Plan Housing Element promotes the provision of affordable housing for all income groups; and;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF RENTON, WASHINGTON, DOES ORDAIN AS FOLLOWS:

SECTION I. Section 4-2-010.D of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘A’.

SECTION II. Section 4-2-020.G of Chapter 2, Zoning Districts- Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

G. RESIDENTIAL- 10 DU/ACRE (R-10):

The Residential-10 Dwelling units Per net Acre Zone (R-10) is established for the medium-density residential development that will provide a mix of residential styles including detached dwellings or semi-attached dwellings on small lots, attached townhouses, and small-scale attached flats. It is intended to implement the Medium Density ~~and Center Village~~ Land Use Comprehensive Plan designation. Development promoted in the zone is intended to increase opportunities for detached and semi-attached single family dwellings as a percent of the housing stock, as well as allow some small-scale attached housing choices and to create high-quality infill development that increases density while maintaining the single family character of the existing neighborhood. Allowable base densities range from four (4) to ten (10) dwelling units per net acre. The zone serves as a transition to higher density multi-family zones.

Interpretation of uses and project review in this zone shall be based on the purpose statement, objectives and policy direction established in the Residential Medium Density land use designation, Objectives LU-GG through LU-II, Policies LU-157 through LU-181 ~~or the Center village land use designation, Objective LU-CCC, Policies LU-317 through LU-332~~ and the Community Design Element of the Comprehensive Plan.

SECTION III. Section 4-2-020.H of Chapter 2, Zoning Districts- Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

H. RESIDENTIAL-14 DU/ACRE (R-14):

The purpose of the Residential-14 Dwelling Units Per Net Acre Zone (R-14) is to encourage development, and redevelopment, of ~~new~~ residential neighborhoods that provide a mix of detached, semi-attached, and attached dwelling structures organized and designed to combine characteristics of both typical detached single family and small-scale multi-family developments. It is intended to implement the Residential Medium Density or the Center Village Land Use Comprehensive Plan designations. Densities range from ~~eight (8)~~ten (10) to fourteen (14) units per net acre with opportunities for bonuses up to eighteen (18) dwelling units per net acre. Structure size is intended to be limited in terms of bulk and scale so that the various unit types allowed in the zone are compatible with one another and can be integrated together into a quality neighborhood. Project features are encouraged, such as yards for private use, common open spaces, and landscaped areas that enhance a neighborhood and foster a sense of community. Civic and limited commercial uses may be ~~combined with residential development~~ allowed when they support the purpose of the designation.

Interpretation of uses and project review in this zone shall be based on the purpose established in the Residential Medium Density land use designation, Objectives LU-GG through LU-II, Policies LU-157 through LU-181, or the Center Village land use designation, Objective LU-CCC, Policies LU-317 through LU-332, and the Community Design Element of the Comprehensive Plan.

SECTION IV. Section 4-2-020.I of Chapter 2, Zoning Districts- Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

I RESIDENTIAL MULTI-FAMILY (RM):

1. Purpose: The Residential Multi-Family Zone (RM) is established to implement the multi-family policies of the Land Use Element of the Comprehensive Plan. The RM Zone provides suitable environments for multi-family dwellings. It is further intended to conditionally allow uses that are compatible with and support a multi-family environment.

2. Classifications: The density allowed under this zone will be identified by the suffix that is applied. This zone will normally be applied with one of three (3) suffixes:

a. "F" (Multi-Family): The RM-F suffix allows for the development of both infill parcels in existing multi-family districts with compatible projects and other multi-family development. It is intended to implement the Multi-Family or Center Village Land Use Comprehensive Plan designation. Density ranges from ten (10) to twenty (20) du/acre.

Interpretation of uses and project review in this suffix shall be based on the purpose statement objectives and policy direction established in the Residential Multi-Family land use designation, Objectives LU-JJ through LU-LL, Policies LU-182 through LU-192, or the Center Village Land Use designation, Objectives LU-CCC, Policies LU-317 through LU-332.

b. "T" (Traditional): The RM-T suffix occurs in areas where compact, traditional residential neighborhood development already exists, or in Comprehensive Plan designations where traditional residential neighborhoods are planned in the future. It is intended to implement the Urban Center – Downtown designation or Center Village Land Use Comprehensive Plan designation in the Land Use Element of the Comprehensive Plan. Density ranges from fourteen (14) to thirty five (35) du/acre.

c. "U" (Urban Center): The RM-U suffix provides for high-density, urban-scale, multi-family residential development that supports the downtown and allows for alternative transportation mode choices. Development standards promote a pedestrian-scale environment and amenities. Density

ranges from twenty five (25) to seventy five (75) du/acre. This zone, combined with the CD and RM-T Zones, is intended to implement the Urban Center – Downtown Land Use Comprehensive Plan designation or Center Village Land Use Comprehensive Plan designation.

Interpretation of uses and project review in suffix RM-U and RM-T shall be based on the purpose statement objectives and policies of the Urban Center – Downtown land use designation, Objectives LU-OO through LU-XX, Policies LU-216 through LU-264, , or the Center Village Land Use designation, Objectives LU-CCC, Policies LU-317 through LU-332 and the Community Design Element of the Comprehensive Plan. (Amd. Ord. 4971, 6-10-2002)

SECTION V. Section 4-2-020.K of Chapter 2, Zoning Districts- Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

K CENTER VILLAGE ZONE (CV):

1. Purpose: The purpose of the Center Village Zone (CV) is to provide an opportunity for concentrated mixed-use residential and commercial redevelopment designed to urban rather than suburban development standards that supports transit-oriented development and pedestrian activity. Use allowances promote commercial and retail development opportunities for residents to shop locally. Uses and standards allow complementary, high-density residential development, and discourage garden-style, multi-family development. ~~The Center Village Residential Bonus District supports superior residential projects that complement commercial uses, provide ground floor commercial activity along arterials, and provide transition between intensive commercial areas and surrounding single family and multi-family neighborhoods.~~

2. Scale and Character: The Center Village Zone (CV) is intended to provide suitable environments for district-scaled retail and commercial development serving more than one neighborhood, but not providing City-wide services.

Interpretation of uses and project review in this zone shall be based on the purpose statement, objectives and policy direction established in the Center Village land use designation, Objective LU-CCC, Policies LU-317 through LU-332, Residential Medium-Density land use designation, Objectives LU-GG through LU-II, Policies LU-157 through LU-181, or the Residential Multi-Family land use designation, Objectives LU-JJ through LU-LL, Policies LU-182 through LU-192, and the Community Design Element of the Comprehensive Plan.

SECTION VI. Section 4-2-060 of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘B’.

SECTION VII. Section 4-2-070G of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘C’.

SECTION VIII. Section 4-2-070J of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘D’.

SECTION IX. Section 4-2-080A.33 of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

33. ~~Indoor or outdoor recreational facilities and/or eating and drinking establishments, mini-marts, laundromats, day care centers, or adult day care II uses are permitted only in conjunction with and intended to serve residential development in the R-14 Zone.~~ Project size limitations of RMC 4-2-110F apply. A preschool or day care center, when accessory to public or community facilities listed in RMC 4-2-060J, is considered a permitted use and not a conditional use.

Additional Restrictions within the CV Land Use Designation: Retail uses, eating/drinking establishments, and on-site service uses are prohibited in R-14 areas within the Center Village Land Use Designation unless they are accessory to a School, Park, or Entertainment and Recreational Use as allowed in RMC 4-2-060E, F, and J.

SECTION X. Section 4-2-080A.73 of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

73. Within the Center Village Zone, ~~Residential Bonus District, “residential only uses” are limited to townhouse development in the range of seven (7) to twenty (20) dwelling units per net acre.~~ Garden style apartments are prohibited. ~~Flats or townhouses, when in a mixed-use structure that combine residential with first floor commercial uses, have a maximum density of eighty (80) dwelling units per net acre. Projects within the Center Village are also subject to the provisions and development standards in RMC 4-3-095C and D, Center Village Residential Bonus District. Attached dwelling unit developments in the range of ten (10) to twenty (20) dwelling units per net acre may only be townhouse unit types.~~ Ground floor commercial development at a minimum depth of 30 feet and a minimum width of 75% of the length of the building is required for all residential projects on parcels abutting NE Sunset Boulevard. Parcels west of Harrington Avenue NE and east of Edmonds Ave NE may cluster the required commercial development as long as there is commercial development greater or equal to 75% of the sum of the ground floor areas of all the buildings proposed for the site.

SECTION XI. Section 4-2-110F of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘E’.

SECTION XII. Section 4-2-110G of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘F’.

SECTION XIII. Section 4-2-120A of Chapter 2, Zoning Districts – Uses and Standards, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as shown on Attachment ‘G’.

SECTION XIV. Section 4-3-095 of Chapter 3, Environmental Regulations and Overlay Districts, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby deleted in its entirety.

SECTION XV. Section 4-3-100 of Chapter 3, Environmental Regulations and Overlay Districts, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

A PURPOSE:

The purpose of this Section is to:

1. Establish design review regulations in accordance with policies established in the Land Use and Community Design Elements of the Renton Comprehensive Plan in order to:
 - a. Maintain and protect property values;
 - b. Enhance the general appearance of the City;
 - c. Encourage creativity in building and site design;
 - d. Achieve predictability, balanced with flexibility; and
 - e. Consider the individual merits of proposals.
2. Create design standards and guidelines specific to District `A' (the Downtown Core) that ensure design quality of structures and site development implementing the City of Renton's Comprehensive Plan Vision for its Urban Center – Downtown. This Vision is of a downtown that will continue to develop into an efficient and attractive urban city. The Vision of the Downtown Core is of mixed uses with high-density residential living supported by multi-modal transit opportunities. Redevelopment will be based on the pattern and scale of established streets and buildings.
3. Create design standards and guidelines specific to District `B' (the South Renton Neighborhood) that ensure design quality of structures and site development implementing the City's South Renton Neighborhood Plan. The South Renton Neighborhood Plan, for a residential area located within the Urban Center – Downtown, maintains the existing, traditional grid street plan and respects the scale of the neighborhood, while providing new housing at urban densities. The South Renton Neighborhood Plan supports a residential area that is positioned to capitalize on the employment and retail opportunities increasingly available in the Downtown Core.
4. Create design standards and guidelines specific to the Urban Center – North (District `C') that ensure design quality of structures and site development that implements the City of Renton's Comprehensive Plan Vision for its Urban Center – North. This Vision is of an urban environment that concentrates uses in a "grid

pattern" of streets and blocks. The Vision is of a vibrant, economically vital neighborhood that encourages use throughout by pedestrians.

5. Create design standards and guidelines applicable to the use of "big-box retail" as defined in RMC 4-11-180, Definitions.

6. Create design standards and guidelines specific to the Center Village commercial core (District 'D') that ensure design quality of structure and site development that implements the City of Renton's Comprehensive Plan Vision for the Center Village designation. Uses within this district include business and professional offices, services, retail, restaurants, recreational businesses, mixed-use commercial and residential buildings, and multi-family residential. This portion of the Center Village is intended to provide a vital business district serving the local neighborhood and beyond.

7. Create design standards and guidelines specific to the residential portion of the Center Village (District 'E') that ensure design quality of structure and site development that implements the City of Renton's Comprehensive Plan Vision for the Center Village designation. A variety of housing options allows economic and lifestyle diversity in the Center Village, with design regulation to tie the range of styles and types together.

8. Establish two categories of regulations: (a) "minimum standards" that must be met, and (b) "guidelines" that, while not mandatory, are considered by the Development Services Director in determining if the proposed action meets the intent of the design guidelines. ~~In the Urban Center Design Overlay area, Set~~ specific minimum standards and guidelines that may apply to all ~~three~~ districts, or certain districts only (Districts `A', `B', ~~or~~ `C', 'D', or 'E'), as indicated herein. (Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

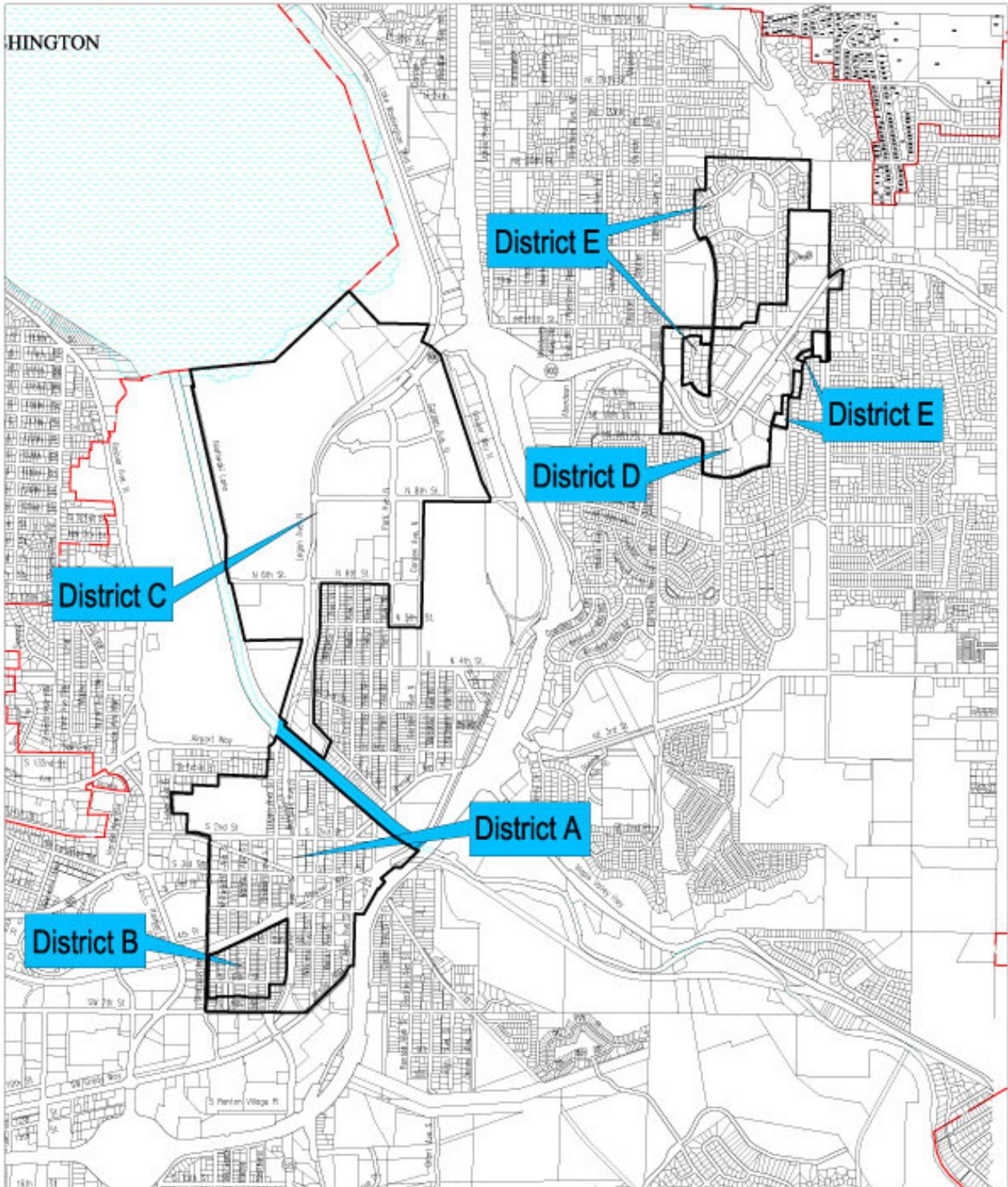
B APPLICABILITY:

1. This Section shall apply to all development in the Urban Center – Downtown and Urban Center – North. For the purposes of the design regulations, the Center Downtown is District `A', South Renton is District `B', and the Urban Center – North is District `C.' Districts A through C are depicted on the Urban Center Design Overlay District Map, shown in subsection B4 of this Section.

2. This Section shall also apply to big-box retail use where allowed in the Commercial Arterial (CA), Light Industrial (IL), Medium Industrial (IM), and Heavy Industrial (IH) zones, except when those zones are located in the Employment Area – Valley south of Interstate 405. Big-box retail uses within these zones, except in the Employment Area – Valley, must comply with design standards and guidelines specific to the Urban Center – North (District `C').

3. Where conflicts may be construed between the design regulations of this Section and other sections of the Renton Municipal Code, the regulations of this Section shall prevail.

4. Urban Center Design Overlay District Map:



Urban Center Design Overlay District Map



Economic Development, Neighborhoods and Strategic Planning
 Alex Fiesch, Administrator
 C.E. Fiesch
 06 November 2006

--- City Limits



5. This section shall apply to all development in the Center Village Land Use Designation as shown on the Comprehensive Plan Land Use Map. For the purposes of the Design Regulations, areas within the Center Village Land Use Designation zoned Center Village (CV) shall comprise District "D". Areas within the Center Village Land Use Designation zoned Residential Multi-family (RMF) and Residential-14 (R-14), area shall be in District "E".

(Amd. Ord. 4991, 12-9-2002; Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

C EXEMPTIONS:

The design regulations shall not apply to:

1. Interior Remodels: Interior remodels of existing buildings or structures provided the alterations do not modify the building facade.
2. Aircraft Manufacturing: Structures related to the existing use of aircraft manufacturing in District 'C'. (Ord. 5124, 2-7-2005)

D ADMINISTRATION:

1. Review Process: Applications subject to design regulations shall be processed as a component of the governing land use process.
2. Authority: The ~~Director of the Development Services Division~~ Reviewing Official shall have the authority to approve, approve with conditions, or deny proposals based upon the provisions of the design regulations. In rendering a decision, the ~~Director-Official~~ will consider proposals on the basis of individual merit, will consider the overall intent of the minimum standards and guidelines, and encourage creative design alternatives in order to achieve the purposes of the design regulations. (Amd. Ord. 4991, 12-9-2002; Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

E SITE DESIGN AND BUILDING LOCATION:

Intent: To ensure that buildings are located in relation to streets and other buildings so that the Vision of the City of Renton can be realized for a high-density urban environment; so that businesses enjoy visibility from public rights-of-way; and to encourage pedestrian activity throughout the district.

1. Site Design and Street Pattern:

Intent: To ensure that the City of Renton Vision can be realized within the Urban Center Districts; plan districts that are organized for efficiency while maintaining flexibility for future development at high urban densities and intensities of use; create and maintain a safe, convenient network of streets of varying dimensions for vehicle circulation; and provide service to businesses.

- a. **Minimum Standard for Districts 'A' and 'B':** Maintain existing grid street pattern
- b. **Minimum Standards for Districts 'C' and 'D':**
 - i. Provide a network of public and/or private local streets in addition to public arterials.

ii. Maintain a hierarchy of streets to provide organized circulation that promotes use by multiple transportation modes and to avoid overburdening the roadway system. The hierarchy shall consist of (from greatest in size to smallest):

(a) High Visibility Street. A highly visible arterial street that warrants special design treatment to improve its appearance and maintain its transportation function.

(b) Arterial Street. A street classified as a principal arterial on the City's Arterial Street Plan.

(c) Pedestrian-Oriented Streets. Streets that are intended to feature a concentration of pedestrian activity. Such streets feature slow moving traffic, narrow travel lanes, on-street parking, and wide sidewalks.

(d) Internal or local roads (public or private).

~~(e) Drive aisles.~~

2. Building Location and Orientation:

Intent: To ensure visibility of businesses; establish active, lively uses along sidewalks and pedestrian pathways; organize buildings in such a way that pedestrian use of the district is facilitated; encourage siting of structures so that natural light and solar access are available to other structures and open space; enhance the visual character and definition of streets within the district; provide an appropriate transition between buildings, parking areas, and other land uses and the street; and increase privacy for residential uses located near the street.

a. Minimum Standard for Districts `A' ~~and~~, `B', and `D':

i. Orient buildings to the street with clear connections to the sidewalk.

ii. ~~The front entry of a building shall not be oriented to a drive aisle, but instead a public or private street or landscaped pedestrian only courtyard.~~

b. Minimum Standards for District `C':

i. Buildings on designated pedestrian-oriented streets shall feature "pedestrian-oriented facades" and clear connections to the sidewalk (see illustration, RMC 4-3-100E7a). Such buildings shall be located adjacent to the sidewalk, except where pedestrian-oriented space is located between the building and the sidewalk. Parking between the building and pedestrian-oriented streets is prohibited.

ii. Buildings fronting on pedestrian-oriented streets shall contain pedestrian-oriented uses.

iii. Nonresidential buildings may be located directly adjacent to any street as long as they feature a pedestrian-oriented facade.

iv. Buildings containing street-level residential uses and single-purpose residential buildings shall be set back from the sidewalk a minimum of ten feet (10') and feature substantial landscaping between the sidewalk and the building (see illustration, RMC 4-3-100E7b).

v. If buildings do not feature pedestrian-oriented facades they shall have substantial landscaping between the sidewalk and building. Such landscaping shall be at least ten feet (10') in width as measured from the sidewalk (see illustration, RMC 4-3-100E7c).

c. Guidelines Applicable to District `C':

~~i.~~ Siting of a structure should take into consideration the continued availability of natural light (both direct and reflected) and direct sun exposure to nearby buildings and open space (except parking areas).

d. Guideline Applicable to Districts `C' and `D': ~~ii.~~ Ground floor residential uses located near the street should be raised above street level for residents' privacy.

3. Building Entries:

Intent: To make building entrances convenient to locate and easy to access, and ensure that building entries further the pedestrian nature of the fronting sidewalk and the urban character of the district.

a. Minimum Standards for Districts `A' and, `B', `D', and `E':

~~Entrance Location: i.~~ A primary entrance of each building shall be located on the facade facing a street. ~~Such entrances~~ shall be prominent, visible from the street, connected by a walkway to the public sidewalk, and include human scale elements.

~~ii. Multiple buildings on the same site shall provide a continuous network of pedestrian paths and open spaces that incorporate landscaping to provide a directed view to building entries.~~

~~iii. Ground floor units shall be directly accessible from the street or an open space such as a courtyard or garden that is accessible from the street.~~

~~iv. Secondary access (not fronting on a street) shall have weather protection at least four and one-half feet (4-1/2') wide over the entrance or other similar indicator of access.~~

~~v. Pedestrian access shall be provided to the building from property edges, adjacent lots, abutting street intersections, crosswalks, and transit stops.~~

b. Minimum Standards for District `C':

i. On pedestrian-oriented streets, the primary entrance of each building shall be located on the facade facing the street.

ii. On non-pedestrian-oriented streets, entrances shall be prominent, visible from surrounding streets, connected by a walkway to the public sidewalk, and include human-scale elements.

iii. All building entries adjacent to a street shall be clearly marked with canopies, architectural elements, ornamental lighting, and/or landscaping. Entries from parking lots should be subordinate to those related to the street for buildings with frontage on designated pedestrian-oriented streets (see illustration, RMC 4-3-100E7d).

iv. Weather protection at least four and one-half feet (4-1/2') wide and proportional to the distance above ground level shall be provided over the primary entry of all buildings and over any entry adjacent to a street.

v. Pedestrian pathways from public sidewalks to primary entrances or from parking lots to primary entrances shall be clearly delineated.

c. Guidelines Applicable to ~~All~~ Districts 'A', 'B', and 'C':

i. Multiple buildings on the same site should provide a continuous network of pedestrian paths and open spaces that incorporate landscaping to provide a directed view to building entries.

ii. Ground floor units should be directly accessible from the street or an open space such as a courtyard or garden that is accessible from the street.

iii. Secondary access (not fronting on a street) should have weather protection at least four and one-half feet (4-1/2') wide over the entrance or other similar indicator of access.

iv. Pedestrian access should be provided to the building from property edges, adjacent lots, abutting street intersections, crosswalks, and transit stops.

v. Features such as entries, lobbies, and display windows should be oriented to a street or pedestrian-oriented space; otherwise, screening or decorative features such as trellises, artwork, murals, landscaping, or combinations thereof should be incorporated into the street-oriented facade.

de. Guidelines Applicable to Districts 'A' and 'D':

i. For projects that include residential uses, entries should provide transition space between the public street and the private residence such as a porch, landscaped area, terrace, common area, lobby, or similar feature.

ii. Features such as entries, lobbies, and display windows should be oriented to a street; otherwise, screening or art features such as trellises, artwork, murals, landscaping, or combinations thereof should be incorporated into the street-oriented facade.

iii. Entries from the street should be clearly marked with canopies, architectural elements, ornamental lighting, or landscaping. Entries from parking lots should be subordinate to those related to the street for buildings within District 'A'.

ef. Guidelines Applicable to Districts 'B' and 'E': Front yards should provide transition space between the public street and the private residence such as a porch, landscaped area, terrace, or similar feature.

fg. Guideline Applicable to District 'C': For projects that include residential uses, entries should provide transition space between the public street and the private residence such as a porch, landscaped area, terrace, common area, lobby, or similar feature.

4. Transition to Surrounding Development:

Intent: To shape redevelopment projects so that the character and value of Renton's long-established, existing neighborhoods are preserved.

a. Minimum Standards for Districts `A' and `D': Careful siting and design treatment is necessary to achieve a compatible transition where new buildings differ from surrounding development in terms of building height, bulk and scale. At least one of the following design elements shall be considered to promote a transition to surrounding uses:

- i. Setbacks at the side or rear of a building may be increased by the Reviewing Official in order to reduce the bulk and scale of larger buildings and so that sunlight reaches adjacent yards;
- ii. Building proportions, including step-backs on upper levels;
- iii. Building articulation to divide a larger architectural element into smaller increments; or
- iv. Roof lines, roof pitches, and roof shapes designed to reduce apparent bulk and transition with existing development.

b. Minimum Standards for Districts `B' and `E':

i. Careful siting and design treatment is necessary to achieve a compatible transition where new buildings differ from surrounding development in terms of building height, bulk, and scale. At least one of the following design elements shall be considered to promote a transition to surrounding uses:

~~(a)ii.~~ Setbacks at the side or rear of a building may be increased in order to reduce the bulk and scale of larger buildings and so that sunlight reaches adjacent yards; or

~~(b)iii.~~ Building articulation provided to divide a larger architectural element into smaller pieces; or

~~(e)iv.~~ Roof lines, roof pitches, and roof shapes designed to reduce apparent bulk and transition with existing development.

~~ii. — In areas with older style, steeply pitched, single family homes, similar roof styles are encouraged to achieve more harmonious relationships between new and old buildings.~~

c. Minimum Standards for District `C':

i. For properties along North 6th Street and Logan Avenue North (between North 4th Street and North 6th Street), applicants shall demonstrate how their project provides an appropriate transition to the long established, existing neighborhood south of North 6th Street known as the North Renton Neighborhood.

ii. For properties located south of North 8th Street, east of Garden Avenue North, applicants must demonstrate how their project appropriately provides transitions to existing industrial uses.

5. Service Element Location and Design:

Intent: To reduce the potential negative impacts of service elements (i.e., waste receptacles, loading docks) by locating service and loading areas away from high-volume pedestrian areas, and screening them from view in high visibility areas.

a. Minimum Standards for All Districts:

i. Service elements shall be located and designed to minimize the impacts on the pedestrian environment and adjacent uses. Service elements shall be concentrated and located where they are accessible to service vehicles and convenient for tenant use (see illustration, RMC 4-3-100E7e).

ii. Garbage, recycling collection, and utility areas shall be enclosed, consistent with RMC 4-4-090, Refuse and Recyclables Standards, and RMC 4-4-095, Screening and Storage Height/Location Limitations.

iii. In addition to standard enclosure requirements, garbage, recycling collection, and utility areas shall be enclosed on all sides, including the roof and screened around their perimeter by a wall or fence and have self-closing doors (see illustration, RMC 4-3-100E7f).

iv. The use of chain link, plastic, or wire fencing is prohibited.

v. If the service area is adjacent to a street, pathway, or pedestrian-oriented space, a landscaped planting strip, minimum three feet (3') wide, shall be located on three (3) sides of such facility.

b. Guidelines Applicable to All Districts: Service enclosure fences should be made of masonry, ornamental metal or wood, or some combination of the three.

6. Gateways:

Intent: To distinguish gateways as primary entrances to districts or to the City; provide special design features and architectural elements at gateways; and ensure that gateways, while they are distinctive within the context of the district, are compatible with the district in form and scale.

a. Minimum Standards for Districts 'C' and 'D':

i. Developments located at district gateways shall be marked with visually prominent features (see illustration, subsection E7g of this Section).

ii. Gateway elements shall be oriented toward and scaled for both pedestrians and vehicles (see illustration, subsection E7h of this Section).

iii. Visual prominence shall be distinguished by two (2) or more of the following:

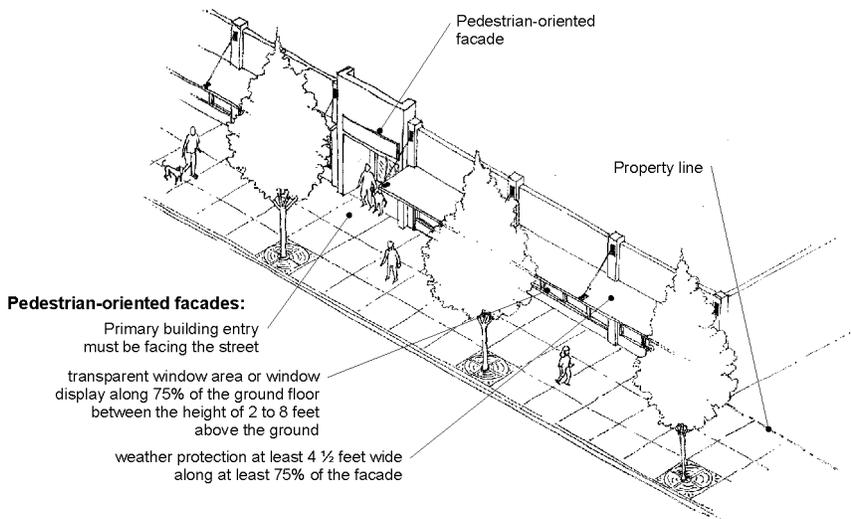
(a) Public art;

(b) Monuments;

- (c) Special landscape treatment;
- (d) Open space/plaza;
- (e) Identifying building form;
- (f) Special paving, unique pedestrian scale lighting, or bollards;
- (g) Prominent architectural features (trellis, arbor, pergola, or gazebo);
- (h) Signage, displaying neighborhood or district entry identification (commercial signs are not allowed).

7. Illustrations.

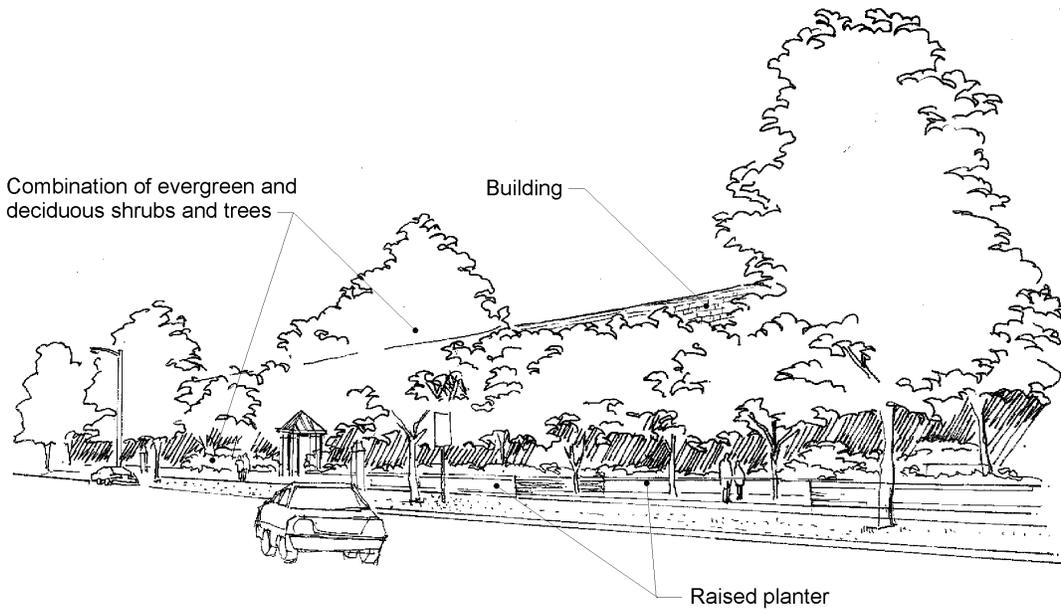
a. Pedestrian-oriented facades (see subsection E2b(i) of this Section).



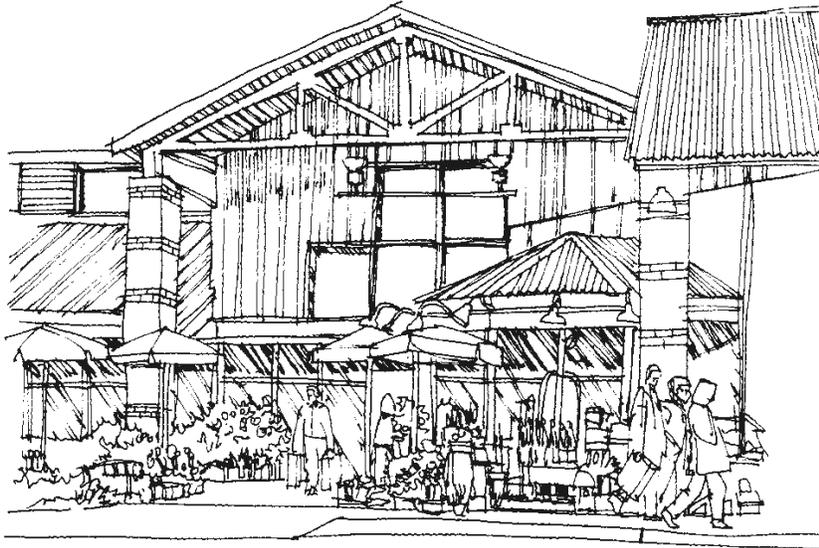
b. Street-level residential (see subsection E2b(iv) of this Section).



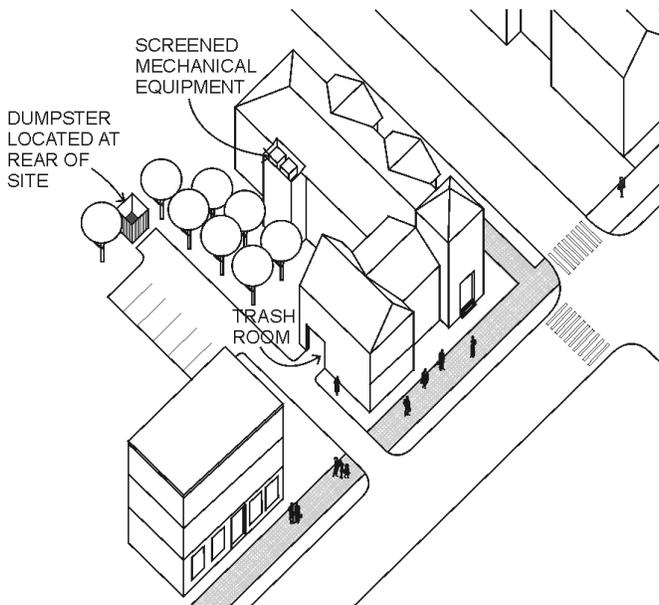
c. Buildings without pedestrian-oriented uses (see subsection E2b(v) of this Section).



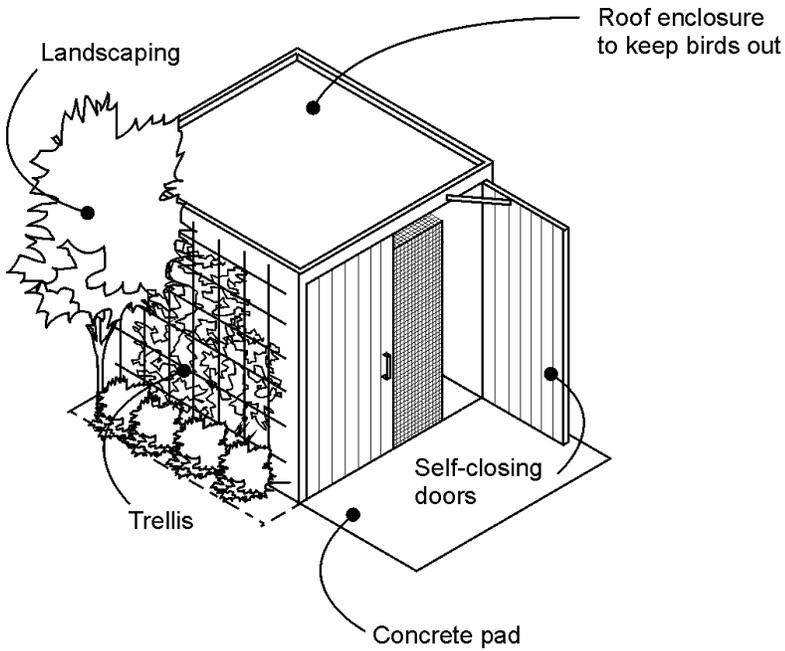
d. Building entries (see subsection E3b(iii) of this Section).



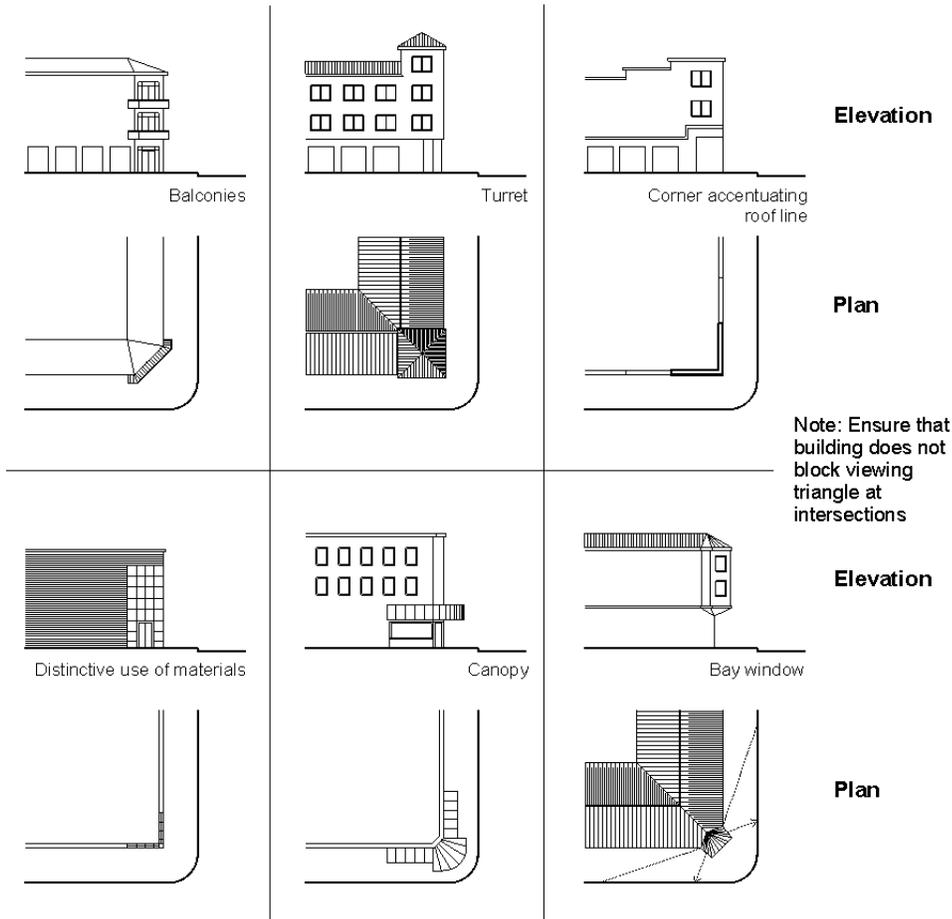
e. Service elements located to minimize the impact on the pedestrian environment (see subsection E5a(i) of this Section).



f. Service enclosure (see subsection E5a(iii) of this Section).



g. Distinguishable building form appropriate for gateway locations (see subsection E6a(i) of this Section).



h. Gateway landscaping, open space, pedestrian amenities and signage that identifies the commercial area (see subsection E6a(ii) of this Section).



(Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

F PARKING AND VEHICULAR ACCESS:

Intent: To provide safe, convenient access to the Urban Center and the Center Village; incorporate various modes of transportation, including public mass transit, in order to reduce traffic volumes and other impacts from vehicles; ensure sufficient parking is provided, while encouraging creativity in reducing the impacts of parking areas; allow an active pedestrian environment by maintaining contiguous street frontages, without parking lot siting along sidewalks and building facades; minimize the visual impact of parking lots; and use access streets and parking to maintain an urban edge to the district.

1. Location of Parking:

Intent: To maintain active pedestrian environments along streets by placing parking lots primarily in back of buildings.

a. Minimum Standards for Districts `A' ~~and `B'~~, and `D':

No surface parking shall be located between a building and the front property line or the building and side property line on the street side of a corner lot.

b. Minimum Standards for District `C':

i. On designated Pedestrian-Oriented Streets:

(a) Parking shall be at the side and/or rear of a building, with the exception of on-street parallel parking. No more than sixty feet (60') of the street frontage measured parallel to the curb shall be occupied by off-street parking and vehicular access.

(b) On-street parallel parking spaces located adjacent to the site can be included in calculation of required parking. For parking ratios based on use and zone, see RMC 4-4-080, Parking, Loading and Driveway Regulations.

(c) On-street, parallel parking shall be required on both sides of the street.

ii. All parking lots located between a building and street or visible from a street shall feature landscaping between the sidewalk and building; see RMC 4-4-080F, Parking Lot Design Standards.

iii. Surface Parking Lots: The applicant must successfully demonstrate that the surface parking lot is designed to facilitate future structured parking and/or other infill development. For example, an appropriate surface parking area would feature a one thousand five hundred foot (1,500') maximum perimeter area and a minimum dimension on one side of two hundred feet (200'), unless project proponent can demonstrate future alternative use of the area would be physically possible. Exception: If there are size constraints inherent in the original parcel (see illustration, subsection F5a of this Section).

c. Minimum Standards for District 'E':

i. No surface parking shall be located between a building and the front property line or the building and side property line on the street side of a corner lot.

ii. Parking shall be located off an alley if an alley is present.

ed. — Guideline Applicable to All Districts 'A', 'B', 'C', and 'D': In areas of mixed use development, shared parking is recommended.

De. Guidelines Applicable to District 'C':

i. If a limited number of parking spaces are made available in front of a building for passenger drop-off and pick-up, they shall be parallel to the building facade.

ii. When fronting on streets not designated as pedestrian-oriented, parking lots should be located on the interior portions of blocks and screened from the surrounding roadways by buildings, landscaping and/or gateway features as dictated by location.

2. Design of Surface Parking:

Intent: To ensure safety of users of parking areas, convenience to businesses, and reduce the impact of parking lots wherever possible.

a. Minimum Standards for Districts 'A' and, 'C', and 'D':

i. Parking lot lighting shall not spill onto adjacent or abutting properties (see illustration, subsection F5b of this Section).

ii. All surface parking lots shall be landscaped to reduce their visual impact (see RMC 4-4-080F7, Landscape Requirements).

b. Guidelines Applicable to ~~All~~ Districts 'A', 'C', and 'D':

i. Wherever possible, parking should be configured into small units, connected by landscaped areas to provide on-site buffering from visual impacts.

ii. Access to parking modules should be provided by public or private local streets with sidewalks on both sides where possible, rather than internal drive aisles.

iii. Where multiple driveways cannot be avoided, provide landscaping to separate and minimize their impact on the streetscape.

3. Structured Parking Garages:

Intent: To more efficiently use land needed for vehicle parking; encourage the use of structured parking throughout the Urban Center and the Center Village; physically and visually integrate parking garages with other uses; and reduce the overall impact of parking garages when they are located in proximity to the designated pedestrian environment.

a. Minimum Standards for District 'C' and 'D':

i. Parking Structures Fronting Designated Pedestrian-Oriented Streets:

(a) Parking structures shall provide space for ground-floor commercial uses along street frontages at a minimum of seventy-five percent (75%) of the frontage width (see illustration, subsection F5c of this Section).

(b) The entire facade must feature a pedestrian-oriented facade.

ii. Parking Structures Fronting Non-Pedestrian-Oriented Streets:

(a) Parking structures fronting non-pedestrian-oriented streets and not featuring a pedestrian-oriented facade shall be set back at least six feet (6') from the sidewalk and feature substantial landscaping. This includes a combination of evergreen and deciduous trees, shrubs, and ground cover. This setback shall be increased to ten feet (10') adjacent to high visibility streets.

(b) The Director may allow a reduced setback where the applicant can successfully demonstrate that the landscaped area and/or other design treatment meets the intent of these standards and guidelines. Possible treatments to reduce the setback include landscaping components plus one or more of the following integrated with the architectural design of the building:

(1) Ornamental grillwork (other than vertical bars);

(2) Decorative artwork;

- (3) Display windows;
- (4) Brick, tile, or stone;
- (5) Pre-cast decorative panels;
- (6) Vine-covered trellis;
- (7) Raised landscaping beds with decorative materials; or
- (8) Other treatments that meet the intent of this standard.

(c) Facades shall be articulated architecturally, so as to maintain a human scale and to avoid a solid wall. Vehicular entrances to nonresidential or mixed use parking structures shall be articulated by arches, lintels, masonry trim, or other architectural elements and/or materials (see illustration, subsection F5d of this Section).

b. Minimum Standards for District 'D':

- i. Parking structures shall provide space for ground-floor commercial uses along street frontages at a minimum of seventy-five percent (75%) of the frontage width (see illustration, subsection F5c of this Section).
- ii. The entire facade must feature a pedestrian-oriented facade.
- iii. Facades shall be articulated architecturally, so as to maintain a human scale and to avoid a solid wall. Vehicular entrances to nonresidential or mixed use parking structures shall be articulated by arches, lintels, masonry trim, or other architectural elements and/or materials (see illustration, subsection F5d of this Section).

~~**Guidelines Applicable to All Districts:** Parking garage entries should be designed and sited to complement, not subordinate, the pedestrian entry. If possible, locate the parking entry away from the primary street, to either the side or rear of the building.~~

c. Guidelines Applicable to Districts 'A' and 'C', and 'D':

- ~~i. Parking garage entries should not dominate the streetscape. Parking garage entries should be designed and sited to complement, not subordinate, the pedestrian entry. If possible, locate the parking entry away from the primary street, to either the side or rear of the building.~~
- ii. Parking garage entries should not dominate the streetscape.
- iii. The design of structured parking at finished grade under a building should minimize the apparent width of garage entries.

~~iii-iv~~ Parking within the building should be enclosed or screened through any combination of walls, decorative grilles, or trellis work with landscaping.

~~iv.~~ Parking garages should be designed to be complementary with adjacent buildings. Use similar forms, materials, and/or details to enhance garages.

~~v. Residential garage parking should be secured with electronic entries.~~

vi. Parking service and storage functions should be located away from the street edge and generally not be visible from the street or sidewalks.

d. Guidelines Applicable to Districts `B' and `E':

i. Attached personal parking garages at-grade should be individualized and not enclose more than two (2) cars per enclosed space. Such garages should be architecturally integrated into the whole development.

ii. Multiple-user parking garages at-grade should be enclosed or screened from view through any combination of walls, decorative grilles, or trellis work with landscaping.

~~iii. All garage parking in this district should be secured with decorative doors.~~

~~iv.~~ Personal parking garages should be individualized whenever possible with separate entries and architectural detailing in character with the lower density district.

iv. Large multi-user parking garages are discouraged in this lower density district and, if provided, should be located below grade whenever possible.

~~vi. Service and storage functions should be located away from the street edge and generally not be visible from the street or sidewalks.~~

4. Vehicular Access:

Intent: To maintain a contiguous, uninterrupted sidewalk by minimizing, consolidating and/or eliminating vehicular access off streets within pedestrian environments and/or designated pedestrian-oriented streets.

a. Minimum Standards for Districts `B' and `E': Parking lots and garages shall be accessed from alleys when available.

b. Minimum Standards for District `C':

i. Parking garages shall be accessed at the rear of buildings or from non-pedestrian-oriented streets when available.

ii. Surface parking driveways are prohibited on pedestrian-oriented streets.

iii. Parking lot entrances, driveways, and other vehicular access points on high visibility streets shall be restricted to one entrance and exit lane per five hundred (500) linear feet as measured horizontally along the street.

c. Guidelines Applicable to Districts `A' and `D':

i. Parking lots and garages should be accessed from alleys or side streets.

ii. Driveways should be located to be visible from the right-of-way, but not impede pedestrian circulation on-site or to adjoining properties. Where possible, minimize the number of driveways and curb cuts.

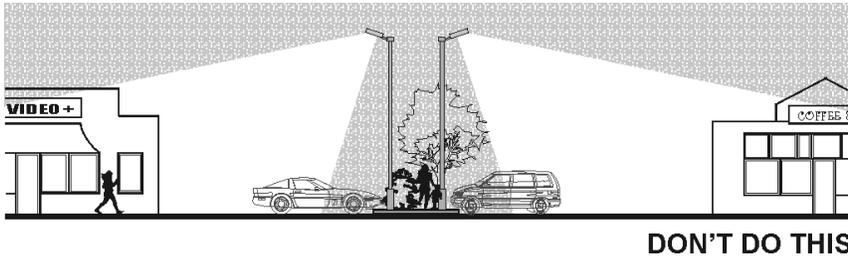
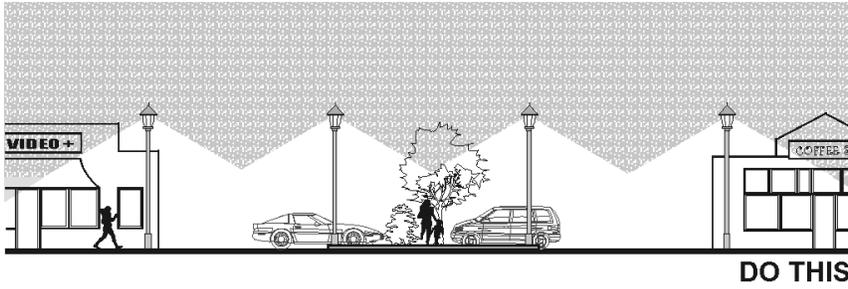
d. Guidelines Applicable to Area `B' and 'E':

i. Garage entryways and/or driveways accessible only from a street should not impede pedestrian circulation along the sidewalk.

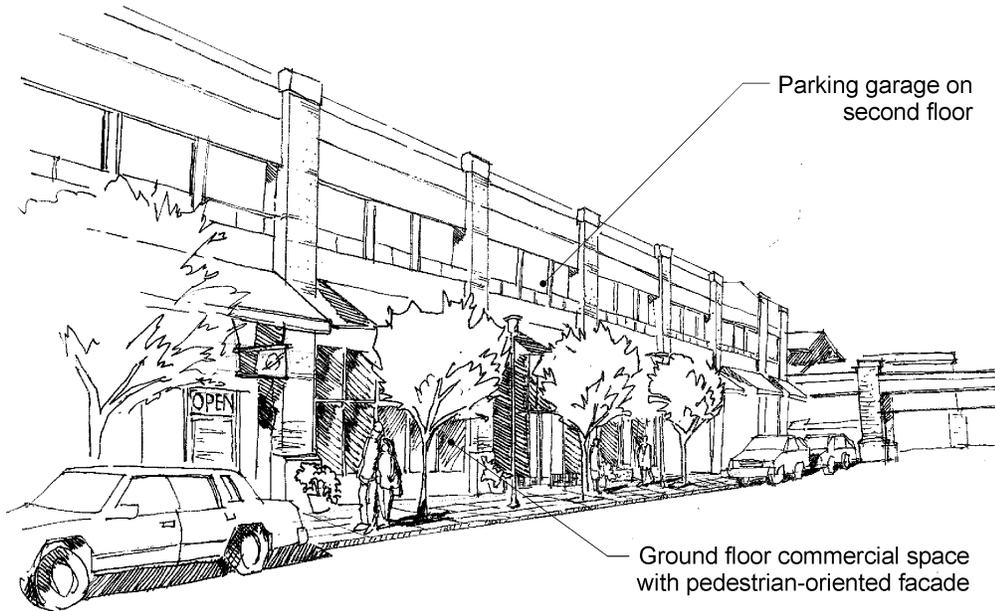
ii. Curb cuts should be minimized whenever possible through the use of shared driveways.

5. Illustrations.

a. Parking and vehicular access in District `C' (see subsection F1b(iii) of this Section).



c. Parking structure fronting on pedestrian-oriented street with pedestrian-oriented uses and facades along the ground floor (see subsection F3a(i)(a) of this Section).



d. Parking structure designed to enhance streetscape (see subsection F3a(ii)(c) of this Section).

Articulation of facade components to reduce scale and add visual interest

Decorative trellis structure for vines

Raised planting bed adjacent to sidewalk



(Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

G PEDESTRIAN ENVIRONMENT:

Intent: To enhance the urban character of development in the Urban Center and the Center Village-by creating pedestrian networks and by providing strong links from streets and drives to building entrances; make the pedestrian environment safer and more convenient, comfortable, and pleasant to walk between businesses, on sidewalks, to and from access points, and through parking lots; and promote the use of multi-modal and public transportation systems in order to reduce other vehicular traffic.

1. Pathways through Parking Lots:

Intent: To provide safe and attractive pedestrian connections to buildings, parking garages, and parking lots.

a. Minimum Standards for Districts 'C' and 'D':

- i. Clearly delineated pedestrian pathways and/or private streets shall be provided throughout parking areas.
- ii. Within parking areas, pedestrian pathways shall be provided perpendicular to the applicable building facade, at a maximum distance of one hundred and fifty feet (150') apart (see illustration, subsection G4a of this Section).

2. Pedestrian Circulation:

Intent: To create a network of linkages for pedestrians to improve safety and convenience and enhance the pedestrian environment.

a. Minimum Standards for Districts 'A' and 'C' and 'D':

i. Developments shall include an integrated pedestrian circulation system that connects buildings, open space, and parking areas with the adjacent street sidewalk system and adjacent properties (see illustration, subsection G4b of this Section).

ii. Sidewalks located between buildings and streets shall be raised above the level of vehicular travel.

iii. Pedestrian pathways within parking lots or parking modules shall be differentiated by material or texture from adjacent paving materials (see illustration, subsection G4c of this Section).

iv. Sidewalks and pathways along the facades of buildings shall be of sufficient width to accommodate anticipated numbers of users. Specifically:

(a) Sidewalks and pathways along the facades of mixed use and retail buildings one hundred (100) or more feet in width (measured along the facade) shall provide sidewalks at least twelve feet (12') in width. The walkway shall include an eight foot (8') minimum unobstructed walking surface and street trees (see illustration, subsection G4d of this Section).

(b) To increase business visibility and accessibility, breaks in the tree coverage adjacent to major building entries shall be allowed.

(c) For all other interior pathways, the proposed walkway shall be of sufficient width to accommodate the anticipated number of users. A ten to twelve foot (10' – 12') pathway, for example, can accommodate groups of persons walking four (4) abreast, or two (2) couples passing one another. An eight foot (8') pathway will accommodate three (3) individuals walking abreast, whereas a smaller five to six foot (5' – 6') pathway will accommodate two (2) individuals.

v. Locate pathways with clear sight lines to increase safety. Landscaping shall not obstruct visibility of walkway or sight lines to building entries.

vi. All pedestrian walkways shall provide an all-weather walking surface unless the applicant can demonstrate that the proposed surface is appropriate for the anticipated number of users and complementary to the design of the development.

b. Guidelines Applicable to All Districts:

i. Delineation of pathways may be through the use of architectural features, such as trellises, railings, low seat walls, or similar treatment.

ii. Mid-block connections are desirable where a strong linkage between uses can be established.

iii. Decorative fences, with the exception of chain link fences, may be allowed when appropriate to the situation.

c. Guidelines Applicable to District 'C' Only:

i. Through-block connections should be made between buildings, between streets, and to connect sidewalks with public spaces. Preferred location for through-block connections is mid-block (see illustration, subsection G4e of this Section).

- ii. Between buildings of up to and including two (2) stories in height, through-block connections should be at least six feet (6') in width.
- iii. Between buildings three (3) stories in height or greater, through-block connections should be at least twelve feet (12') in width.
- iv. Transit stops should be located along designated transit routes a maximum of one-quarter (0.25) mile apart.
- v. As an alternative to some of the required street trees, developments may provide pedestrian-scaled light fixtures at appropriate spacing and no taller than fourteen feet (14') in height. No less than one tree or light fixture per ~~sixty (60)~~thirty (30) lineal feet of the required walkway should be provided.

3. Pedestrian Amenities:

Intent: To create attractive spaces that unify the building and street environments and are inviting and comfortable for pedestrians; and provide publicly accessible areas that function for a variety of activities, at all times of the year, and under typical seasonal weather conditions.

a. Minimum Standards for District 'C':

- i. On designated pedestrian-oriented streets, provide pedestrian overhead weather protection in the form of awnings, marquees, canopies, or building overhangs. These elements shall be a minimum of four and one-half feet (4-1/2') wide along at least seventy five percent (75%) of the length of the building facade facing the designated pedestrian-oriented street, a maximum height of fifteen feet (15') above the ground elevation, and no lower than eight feet (8') above ground level.
- ii. Site furniture provided in public spaces shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.
- iii. Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.

b. Minimum Standards for District 'D':

- i. Provide pedestrian overhead weather protection in the form of awnings, marquees, canopies, or building overhangs. These elements shall be a minimum of four and one-half feet (4 1/2') wide along at least seventy five percent (75%) of the length of the building façade, a maximum height of fifteen feet (15') above the ground elevation, and no lower than eight feet (8') above ground level.
- ii. Site furniture provided in public spaces shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.
- iii. Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.

c. Minimum Standards for District 'E' only:

i. Site furniture provided in public spaces shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.

ii. Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.

d. Guidelines Applicable to Districts `C', `D'and `E':

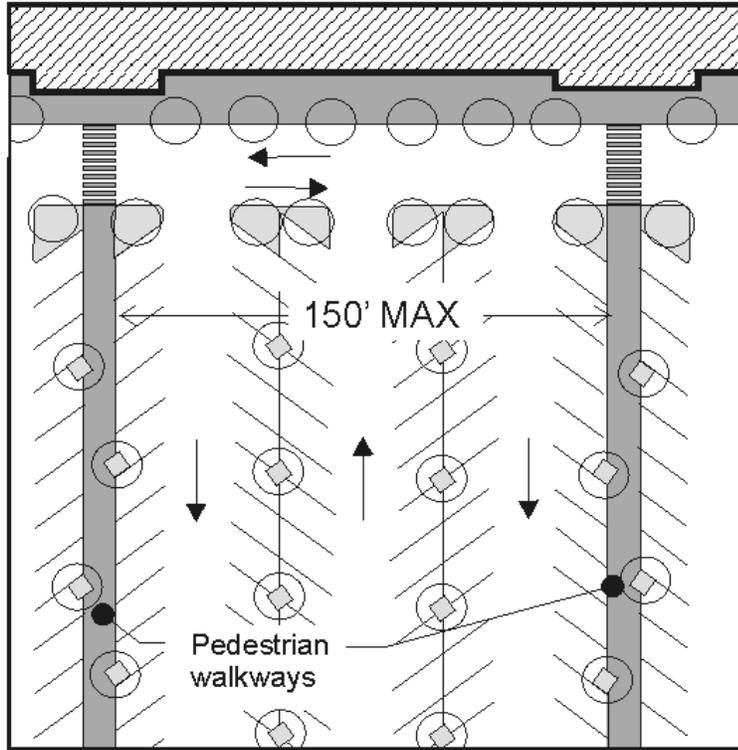
i. Transit shelters, bicycle racks, benches, trash receptacles, and other street furniture should be provided.

ii. Street amenities such as outdoor group seating, kiosks, fountains, and public art should be provided.

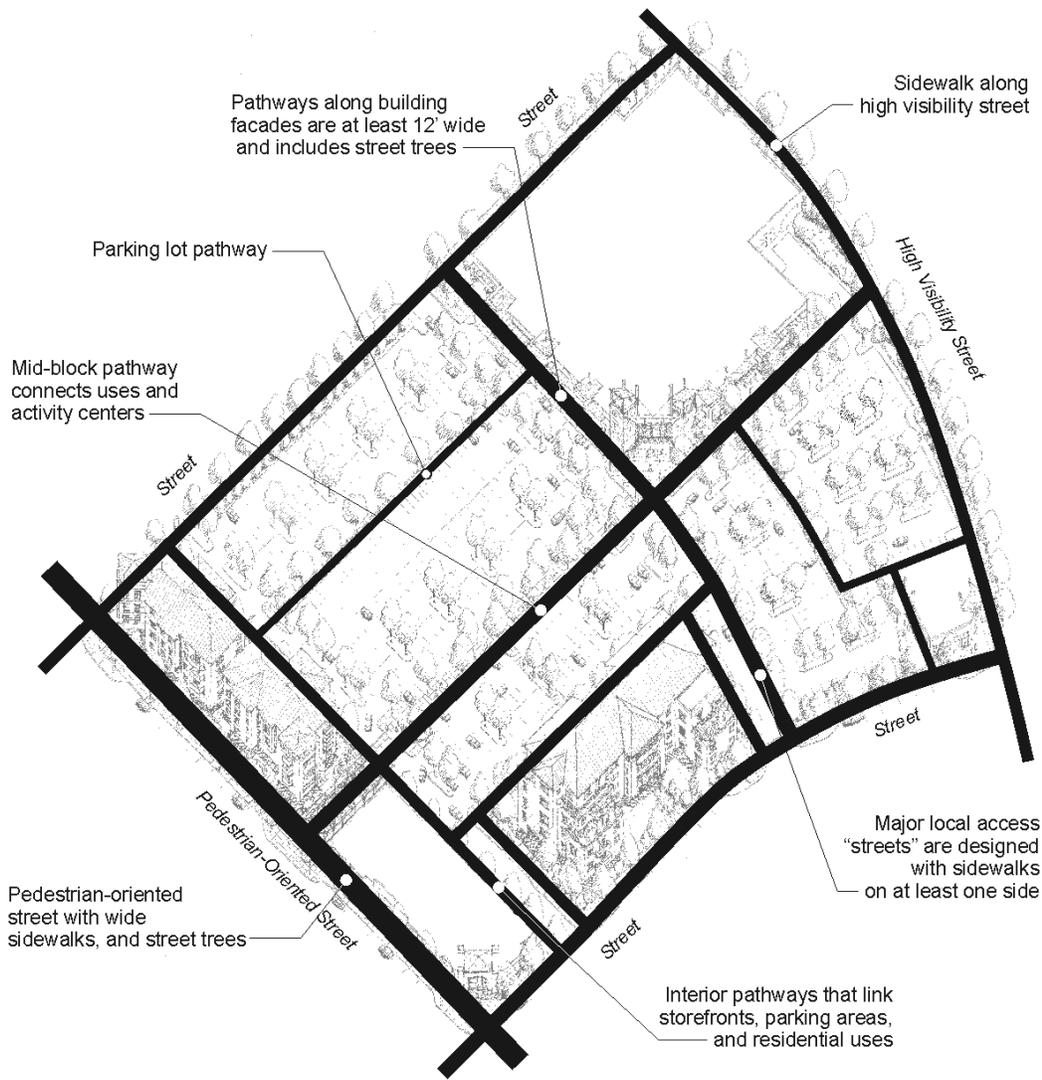
iii. Architectural elements that incorporate plants, such as facade-mounted planting boxes or trellises or ground-related or hanging containers are encouraged, particularly at building entrances, in publicly accessible spaces, and at facades along pedestrian-oriented streets (see illustration, subsection G4f of this Section).

4. Illustrations.

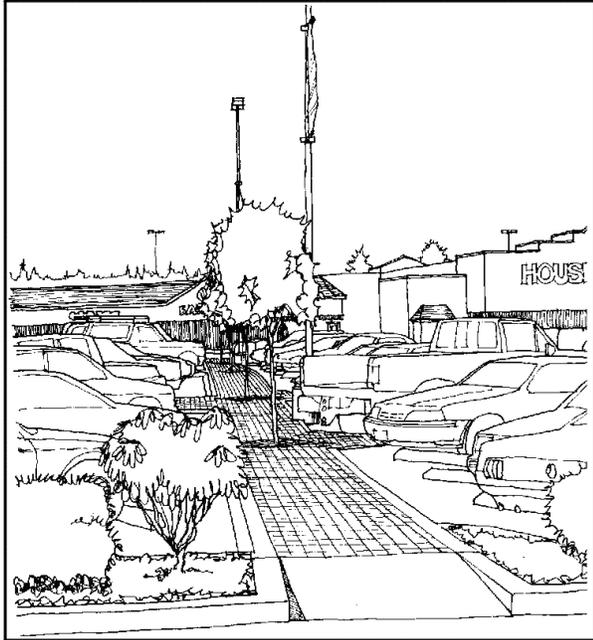
a. Pedestrian walkways within parking lots (see subsection G1a(ii) of this Section).



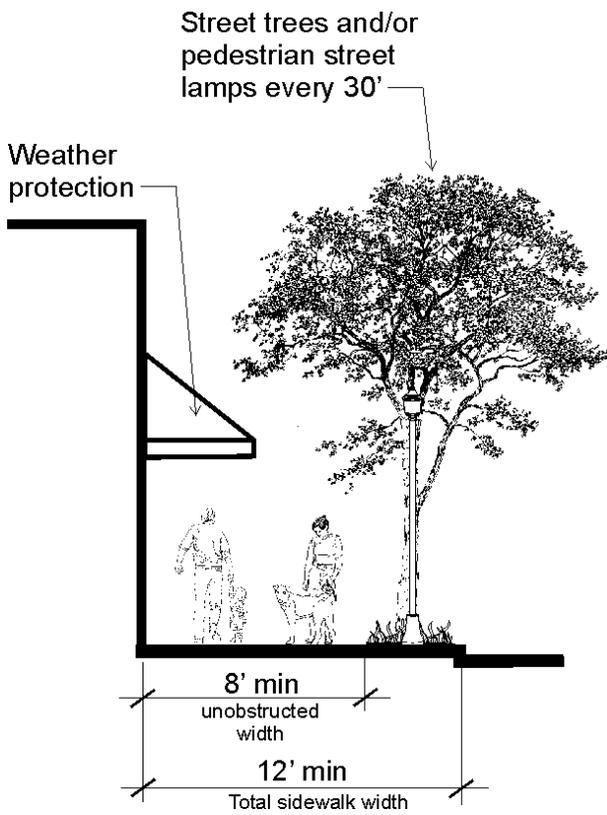
b. Integrated pedestrian access system (pathways are shown in solid black lines) (see subsection G2a(i) of this Section).



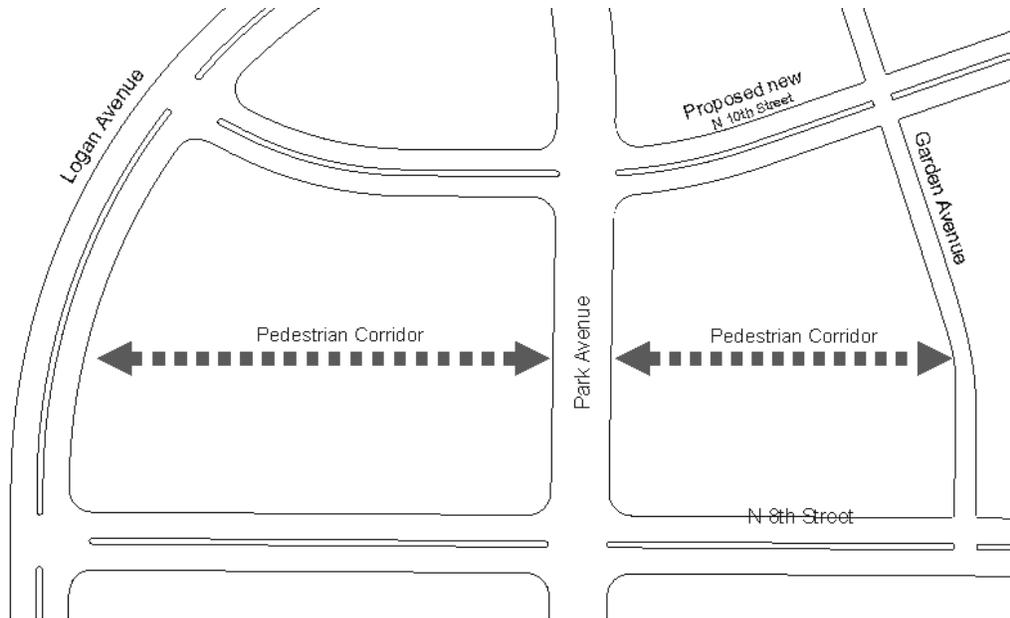
c. **Parking lot pedestrian interior walkway (see subsection G2a(iii) of this Section).**



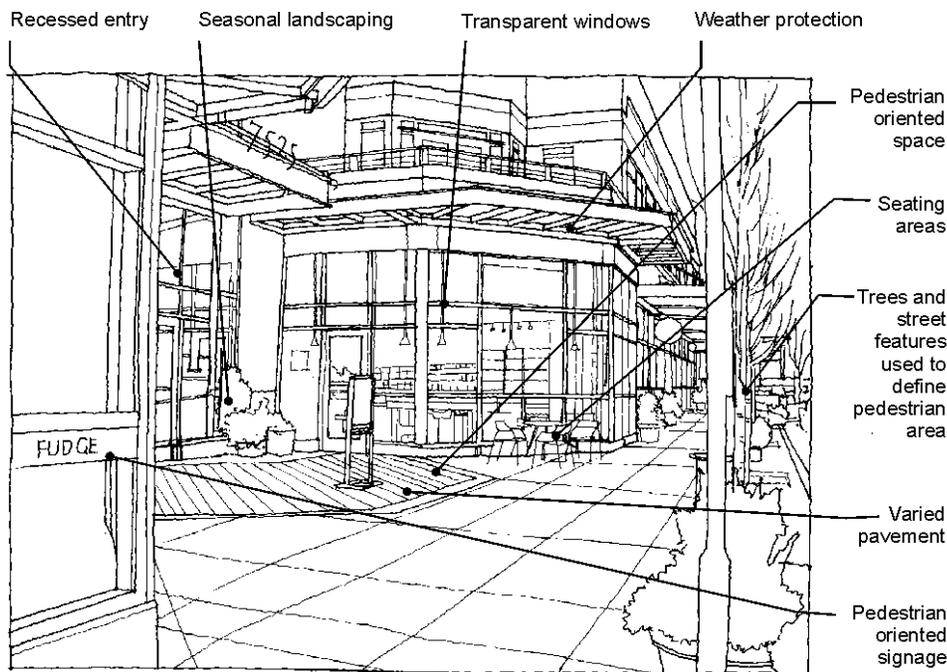
d. Sidewalks along retail building facade (see subsection G2a(iv)(a) of this Section).



e. Through-block pedestrian connections (see subsection G2c of this Section).



f. Pedestrian amenities incorporated into development (see subsection G3b(iii) of this Section).



(Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

H LANDSCAPING/RECREATION AREAS/COMMON OPEN SPACE:

Intent: To provide visual relief in areas of expansive paving or structures; define logical areas of pedestrian and vehicular circulation; and add to the aesthetic enjoyment of the area by the community. To have areas suitable for both passive and active recreation by residents, workers, and visitors; provide these areas in

sufficient amounts and in **safe and** convenient locations; and provide the opportunity for community gathering in places centrally located and designed to encourage such activity.

1. Landscaping:

Intent: Landscaping is intended to reinforce the architecture or concept of the area; provide visual and climatic relief in areas of expansive paving or structures; channelize and define logical areas of pedestrian and vehicular circulation; and add to the aesthetic enjoyment of the area by the community.

a. Minimum Standards for All Districts:

- i. All pervious areas shall be landscaped (see RMC 4-4-070, Landscaping).
- ii. Street trees are required and shall be located between the curb edge and building, as determined by the City of Renton.
- iii. On designated pedestrian-oriented streets, street trees shall be installed with tree grates. For all other streets, street tree treatment shall be as determined by the City of Renton (see illustration, subsection H3a of this Section).
- iv. The proposed landscaping shall be consistent with the design intent and program of the building, the site, and use.
- v. The landscape plan shall demonstrate how the proposed landscaping, through the use of plant material and non-vegetative elements, reinforces the architecture or concept of the development.
- vi. Surface parking areas shall be screened by landscaping in order to reduce views of parked cars from streets (see RMC 4-4-080F7, Landscaping Requirements). Such landscaping shall be at least ten feet (10') in width as measured from the sidewalk (see illustration, subsection H3b of this Section). Standards for planting shall be as follows:
 - (a) Trees at an average minimum rate of one tree per thirty (30) lineal feet of street frontage. Permitted tree species are those that reach a mature height of at least thirty five feet (35'). Minimum height or caliper at planting shall be eight feet (8') or two inch (2") caliper (as measured four feet (4') from the top of the root ball) respectively.
 - (b) Shrubs at the minimum rate of one per twenty (20) square feet of landscaped area. Shrubs shall be at least twelve inches (12") tall at planting and have a mature height between three feet (3') and four feet (4').
 - (c) Groundcover shall be planted in sufficient quantities to provide at least ninety percent (90%) coverage of the landscaped area within three (3) years of installation.
 - (d) The applicant shall provide a maintenance assurance device, prior to occupancy, for a period of not less than three (3) years and in sufficient amount to ensure required landscape standards have been met by the third year following installation.
 - (e) Surface parking with more than fourteen (14) stalls shall be landscaped as follows:
 - (1) Required Amount:

Total Number of Spaces Minimum Required Landscape Area*

15 to 50	15 square feet/parking space
51 to 99	25 square feet/parking space
100 or more	35 square feet/parking space

* Landscape area calculations above and planting requirements below exclude perimeter parking lot landscaping areas.

- (2) Provide trees, shrubs, and groundcover in the required interior parking lot landscape areas.
- (3) Plant at least one tree for every six (6) parking spaces. Permitted tree species are those that reach a mature height of at least thirty five feet (35'). Minimum height or caliper at planting shall be eight feet (8') or two inch (2") caliper (as measured four feet (4') from the top of the root ball) respectively.
- (4) Plant shrubs at a rate of five (5) per one hundred (100) square feet of landscape area. Shrubs shall be at least sixteen inches (16") tall at planting and have a mature height between three feet (3') and four feet (4').
- (5) Up to fifty percent (50%) of shrubs may be deciduous.
- (6) Select and plant groundcover so as to provide ninety percent (90%) coverage within three (3) years of planting; provided, that mulch is applied until plant coverage is complete.
- (7) Do not locate a parking stall more than fifty feet (50') from a landscape area.
- vii. Regular maintenance shall be provided to ensure that plant materials are kept healthy and that dead or dying plant materials are replaced.
- viii. Underground, automatic irrigation systems are required in all landscape areas.

b. Guidelines Applicable to all Districts:

- i. Landscaping should be used to soften and integrate the bulk of buildings.
- ii. Landscaping should be provided that appropriately provides either screening of unwanted views or focuses attention to preferred views.
- iii. Use of low maintenance, drought-resistant landscape material is encouraged.
- iv. Choice of materials should reflect the level of maintenance that will be available.
- v. Seasonal landscaping and container plantings are encouraged, particularly at building entries and in publicly accessible spaces.

vi. Window boxes, containers for plantings, hanging baskets, or other planting feature elements should be made of weather-resistant materials that can be reasonably maintained.

vii. Landscaping should be used to screen parking lots from adjacent or neighboring properties.

c. Guidelines Applicable to Districts `B' and `E':

i. Front yards should be visible from the street and visually contribute to the streetscape.

ii. Decorative walls and fencing are encouraged when architecturally integrated into the project.

2. Recreation Areas and Common Open Space:

Intent: To ensure that districts have areas suitable for both passive and active recreation by residents, workers, and visitors and that these areas are of sufficient size for the intended activity and in convenient locations; create usable, accessible, and inviting open space that is accessible to the public; and promote pedestrian activity on pedestrian-oriented streets particularly at street corners.

a. Minimum Standards for Districts `A', ~~and~~ `C' and and `D':

i. Mixed use residential and attached housing developments of ten (10) or more dwelling units shall provide a minimum area of common space or recreation area equal to fifty (50) square feet per unit. The common space area shall be aggregated to provide usable area(s) for residents. The location, layout, and proposed type of common space or recreation area shall be subject to approval by the Director. The required common open space shall be satisfied with one or more of the elements listed below. The Director may require more than one of the following elements for developments having more than one hundred (100) units.

(a) Courtyards, plazas, or multipurpose open spaces;

(b) Upper level common decks, patios, terraces, or roof gardens. Such spaces above the street level must feature views or amenities that are unique to the site and are provided as an asset to the development;

(c) Pedestrian corridors dedicated to passive recreation and separate from the public street system;

(d) Recreation facilities including, but not limited to, tennis/sports courts, swimming pools, exercise areas, game rooms, or other similar facilities; or

(e) Children's play spaces.

iii. In mixed use residential and attached residential projects, required landscaping, driveways, parking, or other vehicular use areas shall not be counted toward the common space requirement or be located in dedicated outdoor recreation or common use areas.

iv. In mixed use residential and attached residential projects required yard setback areas shall not count toward outdoor recreation and common space unless such areas are developed as private or semi-private (from abutting or adjacent properties) courtyards, plazas or passive use areas containing landscaping and fencing sufficient to create a fully usable area accessible to all residents of the development (see illustration, subsection H3c of this Section).

v. Private decks, balconies, and private ground floor open space shall not count toward the common space/recreation area requirement.

vi. In mixed use residential and attached residential projects, other required landscaping and sensitive area buffers without common access links, such as pedestrian trails, shall not be included toward the required recreation and common space requirement.

vii. All buildings and developments with over thirty thousand (30,000) square feet of nonresidential uses (excludes parking garage floorplate areas) shall provide pedestrian-oriented space (see illustration, subsection H3d of this Section) according to the following formula:

1% of the lot area + 1% of the building area = Minimum amount of pedestrian-oriented space

viii. To qualify as pedestrian-oriented space, the following must be included:

(a) Visual and pedestrian access (including barrier-free access) to the abutting structures from the public right-of-way or a nonvehicular courtyard;

(b) Paved walking surfaces of either concrete or approved unit paving;

(c) On-site or building-mounted lighting providing at least four (4) foot-candles (average) on the ground; and

(d) At least three feet (3') of seating area (bench, ledge, etc.) or one individual seat per sixty (60) square feet of plaza area or open space.

ix. The following features are encouraged in pedestrian-oriented space (see illustration, subsection H3e of this Section) and may be required by the Director:

(a) Provide pedestrian-oriented uses on the building facade facing the pedestrian-oriented space.

(b) Spaces should be positioned in areas with significant pedestrian traffic to provide interest and security – such as adjacent to a building entry.

(c) Provide pedestrian-oriented facades on some or all buildings facing the space.

(d) Provide movable public seating.

x. The following are prohibited within pedestrian-oriented space:

(a) Adjacent unscreened parking lots;

(b) Adjacent chain link fences;

(c) Adjacent blank walls;

(d) Adjacent dumpsters or service areas; and

(e) Outdoor storage (shopping carts, potting soil bags, firewood, etc.) that do not contribute to the pedestrian environment.

xi. The minimum required walkway areas shall not count as pedestrian-oriented space. However, where walkways are widened or enhanced beyond minimum requirements, the area may count as pedestrian-oriented space if the Director determines such space meets the definition of pedestrian-oriented space.

b. Minimum Standards for Districts `B' and `E': Attached housing developments shall provide a minimum area of private usable open space equal to one hundred fifty (150) square feet per unit of which one hundred (100) square feet are contiguous. Such space may include porches, balconies, yards, and decks.

c. Minimum Standards for District `C': The location of public open space shall be considered in relation to building orientation, sun and light exposure, and local micro-climatic conditions.

d. Guidelines Applicable to Districts `A' ,~~and~~ `C' and `D':

i. Common space areas in mixed-use residential and attached residential projects should be centrally located so they are near a majority of dwelling units, accessible and usable to residents, and visible from surrounding units.

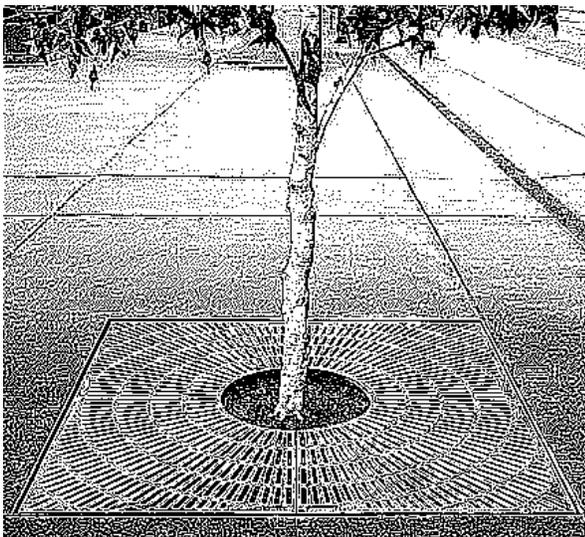
ii. Common space areas should be located to take advantage of surrounding features such as building entrances, significant landscaping, unique topography or architecture, and solar exposure.

iii. In mixed-use residential and attached residential projects children's play space should be centrally located, visible from the dwellings, and away from hazardous areas like garbage dumpsters, drainage facilities, streets, and parking areas.

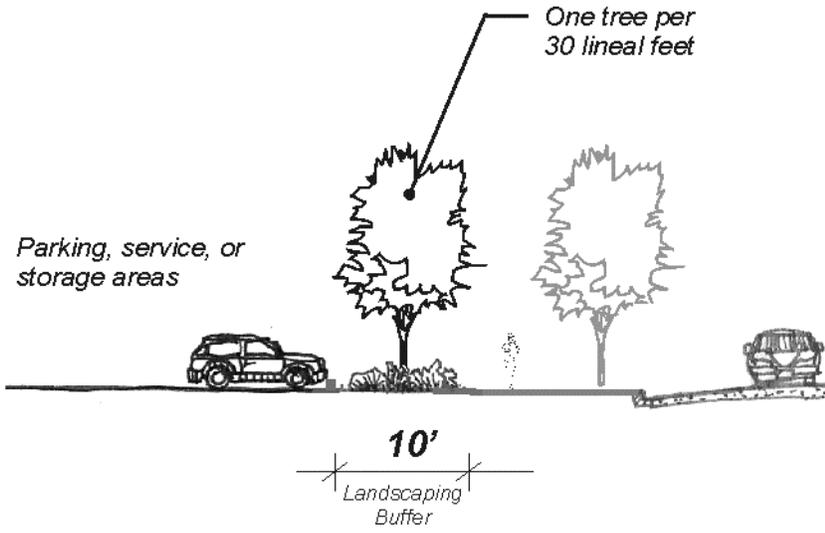
e. Guidelines Applicable to District `C': Developments located at street intersection corners on designated pedestrian-oriented streets are encouraged to provide pedestrian-oriented space adjacent to the street corner to emphasize pedestrian activity (see illustration, subsection H3f of this Section).

3. Illustrations.

a. Street tree installed with tree grate (see subsection H1a(iii) of this Section).



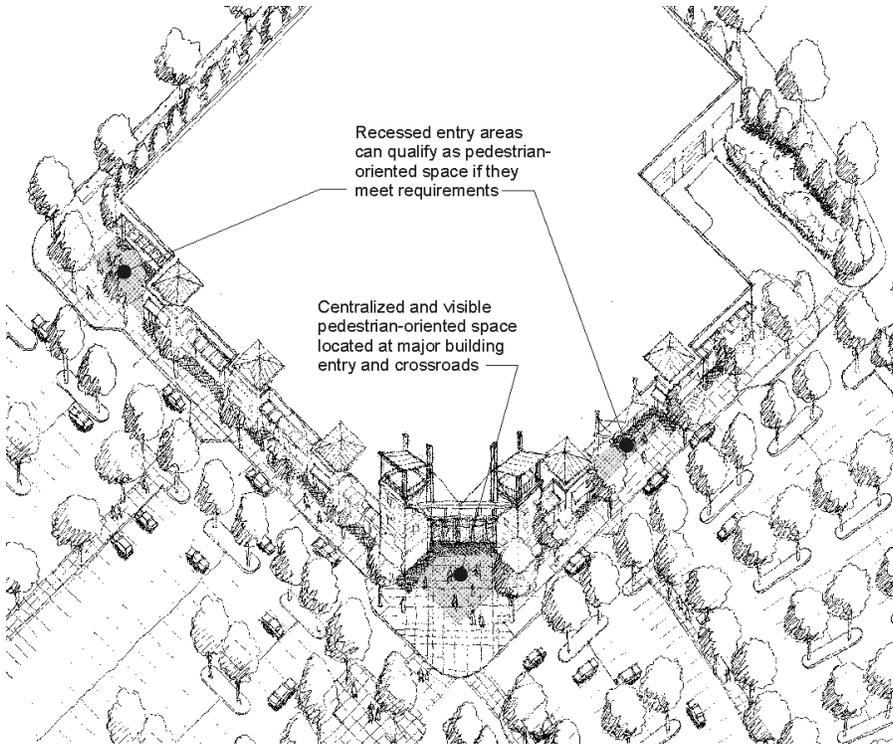
b. Parking lot landscaped buffer (see subsection H1a(vi) of this Section).



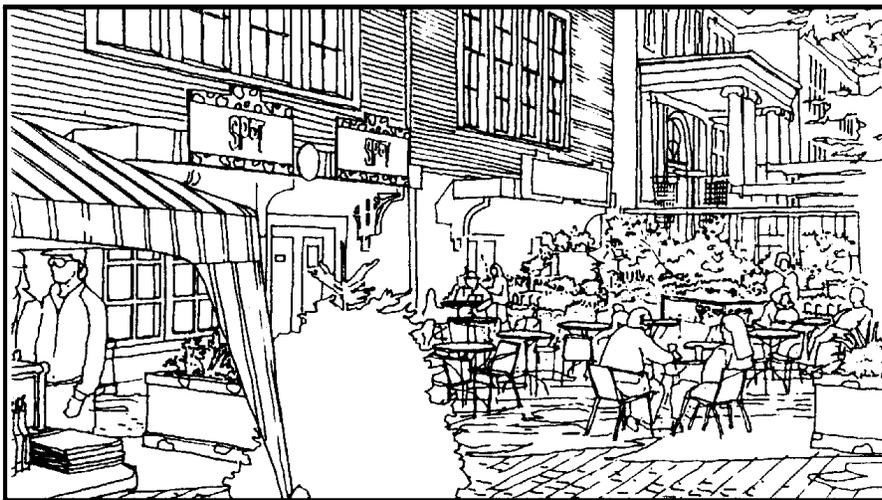
c. Visible and accessible common area featuring landscaping and other amenities (see subsection H2a(iv) of this Section).



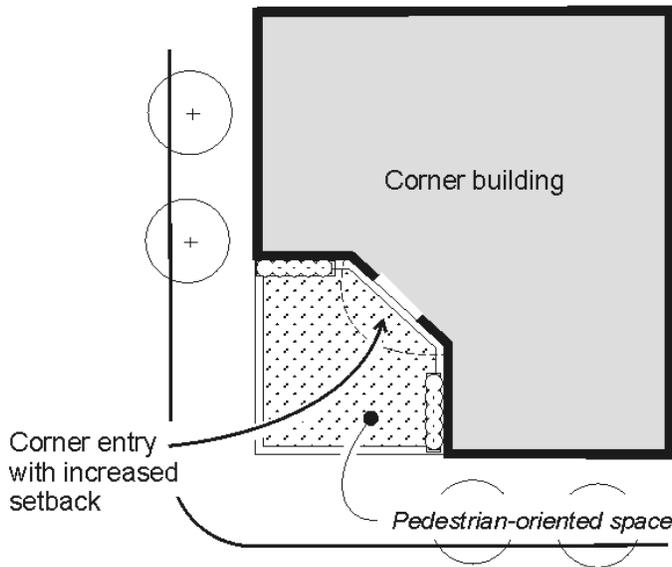
d. Pedestrian-oriented space associated with a large-scale retail building (see subsection H2a(vii) of this Section).



e. Pedestrian-oriented spaces, visible from the street, including ample seating areas, movable furniture, special paving, landscaping components and pedestrian-oriented uses (see subsection H2a(ix) of this Section).



f. Building setbacks increased at street corners along pedestrian-oriented streets to encourage provisions for pedestrian-oriented spaces (see subsection H2e of this Section). (Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)



I BUILDING ARCHITECTURAL DESIGN:

Intent: To encourage building design that is unique and urban in character, comfortable on a human scale, and uses appropriate building materials that are suitable for the Pacific Northwest climate. To discourage franchise retail architecture.

1. Building Character and Massing:

Intent: To ensure that buildings are not bland and visually appear to be at a human scale; and ensure that all sides of a building, that can be seen by the public, are visually interesting.

a. **Minimum Standard for Districts `A' and `D':** All building facades shall include modulation or articulation at intervals of no more than forty feet (40').

b. **Minimum Standard for Districts `B' and `E':** All building facades shall include modulation or articulation at intervals of no more than twenty feet (20').

c. Minimum Standards for District `C':

i. All building facades shall include measures to reduce the apparent scale of the building and add visual interest. Examples include modulation, articulation, defined entrances, and display windows (see illustration, subsection I5a of this Section).

ii. All buildings shall be articulated with one or more of the following:

(a) Defined entry features;

(b) Window treatment;

(c) Bay windows and/or balconies;

(d) Roofline features; or

(e) Other features as approved by the Director.

iii. Single purpose residential buildings shall feature building modulation as follows (see illustration, subsection I5b of this Section):

(a) The maximum width (as measured horizontally along the building's exterior) without building modulation shall be forty feet (40').

(b) The minimum width of modulation shall be fifteen feet (15').

(c) The minimum depth of modulation shall be the greater of six feet (6') or not less than two tenths (0.2) multiplied by the height of the structure (finished grade to the top of the wall).

d. Guidelines Applicable to Districts 'A', 'B', 'D', and 'E':

i. Building facades should be modulated and/or articulated with architectural elements to reduce the apparent size of new buildings, break up long blank walls, add visual interest, and enhance the character of the neighborhood.

ii. Articulation, modulation, and their intervals should create a sense of scale important to residential buildings.

iii. A variety of modulations and articulations should be employed to add visual interest and to reduce the bulk and scale of large projects.

e. Guidelines Applicable to Districts 'A', 'B', and 'E': Building modulations should be a minimum of two feet (2') in depth and four feet (4') in width.

f. Guidelines Applicable to Districts 'A' and 'D':

i. Building modulations should be a minimum of two feet (2') deep, sixteen feet (16') in height, and eight feet (8') in width.

ii. Alternative methods to shape a building such as angled or curved facade elements, off-set planes, wing walls, and terracing will be considered; provided, that the intent of this Section is met.

g. Guidelines Applicable to District 'C':

i. Although streetfront buildings along designated pedestrian streets should strive to create a uniform street edge, building facades should generally be modulated and/or articulated with architectural elements to reduce the apparent size of new buildings, break up long blank walls, add visual interest, and enhance the character of the neighborhood.

ii. Style: Buildings should be urban in character.

iii. Buildings greater than one hundred and sixty feet (160') in length should provide a variety of techniques to reduce the apparent bulk and scale of the facade or provide an additional special design feature

such as a clock tower, courtyard, fountain, or public gathering place to add visual interest (see illustration, subsection I5c of this Section).

2. Ground-Level Details:

Intent: To ensure that buildings are visually interesting and reinforce the intended human-scale character of the pedestrian environment; and ensure that all sides of a building within near or distant public view have visual interest.

a. Minimum Standards for All Districts:

i. Untreated blank walls visible from public streets, sidewalks, or interior pedestrian pathways are prohibited. A wall (including building facades and retaining walls) is considered a blank wall if:

(a) It is a ground floor wall or portion of a ground floor wall over six feet (6') in height, has a horizontal length greater than fifteen feet (15'), and does not include a window, door, building modulation or other architectural detailing; or

(b) Any portion of a ground floor wall having a surface area of four hundred (400) square feet or greater and does not include a window, door, building modulation or other architectural detailing.

ii. Where blank walls are required or unavoidable, blank walls shall be treated with one or more of the following (see illustration, subsection I5d of this Section):

(a) A planting bed at least five feet (5') in width containing trees, shrubs, evergreen ground cover, or vines adjacent to the blank wall;

(b) Trellis or other vine supports with evergreen climbing vines;

(c) Architectural detailing such as reveals, contrasting materials, or other special detailing that meets the intent of this standard;

(d) Artwork, such as bas-relief sculpture, mural, or similar; or

(e) Seating area with special paving and seasonal planting.

iii. Treatment of blank walls shall be proportional to the wall.

iv. Provide human-scaled elements such as a lighting fixture, trellis, or other landscape feature along the facade's ground floor.

v. Facades on designated pedestrian-oriented streets shall have at least seventy-five percent (75%) of the linear frontage of the ground floor facade (as measured on a true elevation facing the designated pedestrian-oriented street) comprised of transparent windows and/or doors.

vi. Other facade window requirements include the following:

(a) Building facades must have clear windows with visibility into and out of the building. However, screening may be applied to provide shade and energy efficiency. The minimum amount of light transmittance for windows shall be fifty percent (50%).

(b) Display windows shall be designed for frequent change of merchandise, rather than permanent displays.

(c) Where windows or storefronts occur, they must principally contain clear glazing.

(d) Tinted and dark glass, highly reflective (mirror-type) glass and film are prohibited.

b. Guidelines Applicable to Districts 'A' and 'C' and 'D':

i. The primary building entrance should be made visibly prominent by incorporating a minimum of one of the following architectural features from each category listed (see illustration, subsection I5e of this Section):

(a) Facade Features:

(1) Recess;

(2) Overhang;

(3) Canopy;

(4) Trellis;

(5) Portico;

(6) Porch;

(7) Clerestory.

(b) Doorway Features:

(1) Transom windows;

(2) Glass windows flanking door;

(3) Large entry doors;

(4) Ornamental lighting;

(5) Lighted displays.

(c) Detail Features:

(1) Decorative entry paving;

(2) Ornamental building name and address;

(3) Planted containers;

(4) Street furniture (benches, etc.).

ii. Artwork or building ornamentation (such as mosaics, murals, grillwork, sculptures, relief, etc.) should be used to provide ground-level detail.

iii. Elevated or terraced planting beds between the walkway and long building walls are encouraged.

c. Guidelines Applicable to Districts `B' and `E': Use of material variations such as colors, brick, shingles, stucco, and horizontal wood siding is encouraged.

3. Building Roof Lines:

Intent: To ensure that roof forms provide distinctive profiles and interest consistent with an urban project and contribute to the visual continuity of the district.

a. Minimum Standards for Districts `A' and `C', and `D': Buildings shall use at least one of the following elements to create varied and interesting roof profiles (see illustration, subsection I5f of this Section):

i. Extended parapets;

ii. Feature elements projecting above parapets;

iii. Projected cornices;

iv. Pitched or sloped roofs.

(a) Locate and screen roof-mounted mechanical equipment so that the equipment is not visible within one hundred fifty feet (150') of the structure when viewed from ground level.

(b) Screening features shall blend with the architectural character of the building, consistent with RMC 4-4-095E, Roof-Top Equipment.

(c) Match color of roof-mounted mechanical equipment to color of exposed portions of the roof to minimize visual impacts when equipment is visible from higher elevations.

b. Guidelines Applicable to Districts `B' and `E':

i. Buildings containing predominantly residential uses should have pitched roofs with a minimum slope of one to four (1:4). Such roofs should have dormers or intersecting roof forms that break up the massiveness of a continuous, uninterrupted sloping roof.

ii. Roof colors should be dark.

c. **Guidelines Applicable to District `C`:** Building roof lines should be varied to add visual interest to the building.

4. **Building Materials:**

Intent: To ensure high standards of quality and effective maintenance over time; encourage the use of materials that reduce the visual bulk of large buildings; and encourage the use of materials that add visual interest to the neighborhood.

a. **Minimum Standards for all Districts:**

i. All sides of buildings visible from a street, pathway, parking area, or open space shall be finished on all sides with the same building materials, detailing, and color scheme, or if different, with materials of the same quality.

ii. Materials, individually or in combination, shall have an attractive texture, pattern, and quality of detailing for all visible facades.

iii. Materials shall be durable, high quality, and reasonably maintained.

b. **Minimum Standards for Districts `A` and `C`, and `D`:** Buildings shall employ material variations such as colors, brick or metal banding, patterns, or textural changes.

c. **Guidelines Applicable to all Districts:**

i. Building materials should be attractive, durable, and consistent with more traditional urban development. Appropriate examples would include brick, integrally colored concrete masonry, pre-finished metal, stone, steel, glass, and cast-in-place concrete.

ii. Concrete walls should be enhanced by texturing, reveals, snap-tie patterns, coloring with a concrete coating or admixture, or by incorporating embossed or sculpted surfaces, mosaics, or artwork.

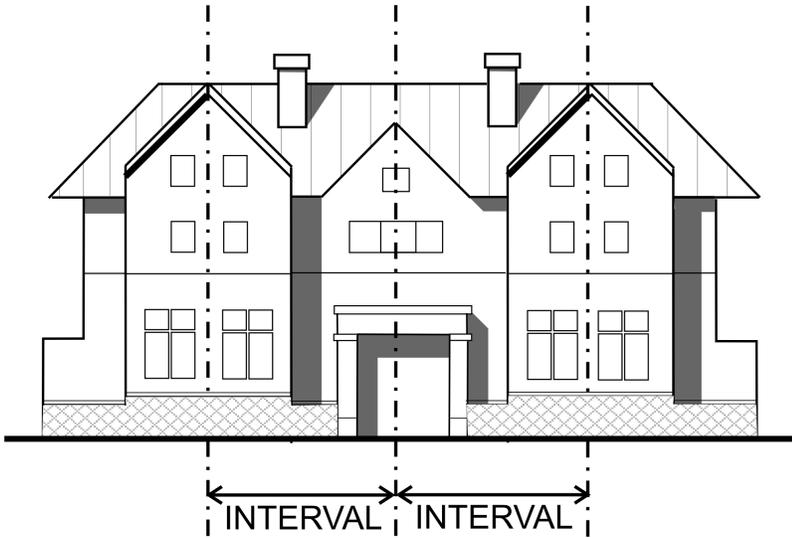
iii. Concrete block walls should be enhanced with integral color, textured blocks and colored mortar, decorative bond pattern and/or incorporate other masonry materials.

iv. Stucco and similar troweled finishes should be used in combination with other more highly textured finishes or accents. They should not be used at the base of buildings between the finished floor elevation and four feet (4') above.

d. **Guideline Applicable to Districts `B` and `E`:** Use of material variations such as colors, brick or metal banding or patterns, or textural changes is encouraged.

5. **Illustrations.**

a. **Building modulation and articulation (see subsection I1c(i) of this Section).**

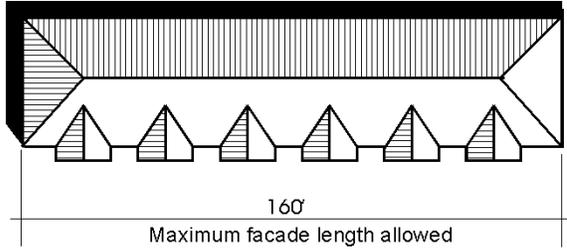


b. Single purpose residential building featuring building modulation to reduce the scale of the building and add visual interest (see subsection I1c(iii) of this Section).

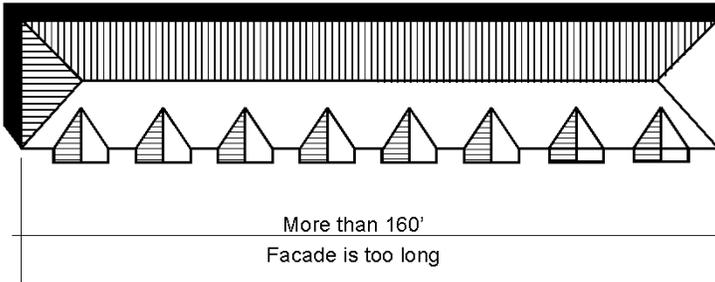


c. Reducing scale of long buildings (see subsection I1g(iii) of this Section).

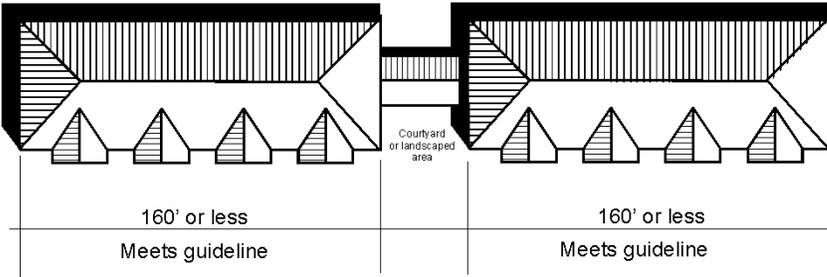
MEETS GUIDELINES



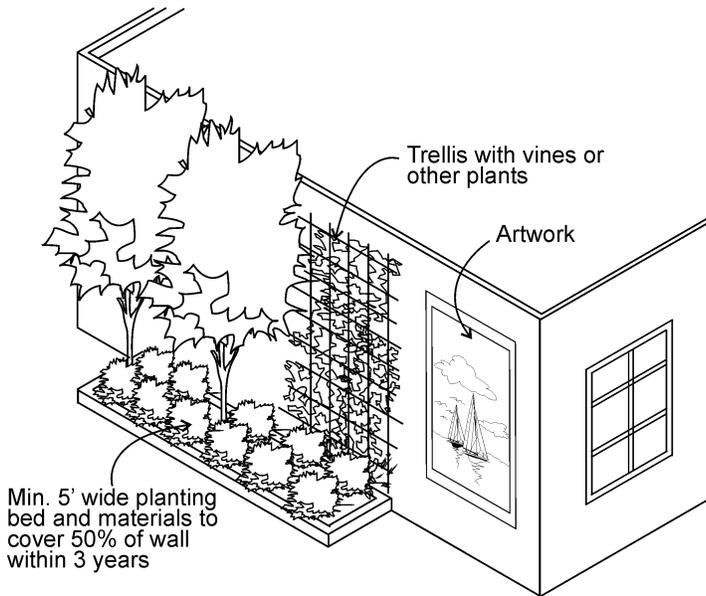
DOES NOT MEET GUIDELINES



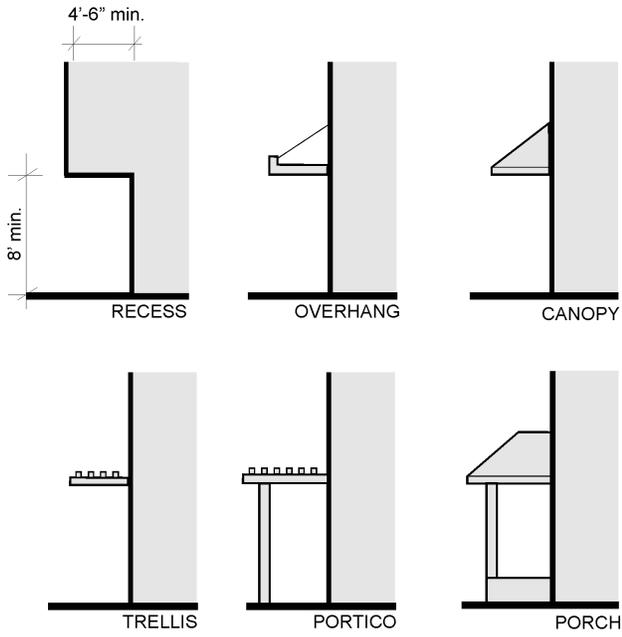
MEETS GUIDELINES



d. Acceptable blank wall treatments (see subsection I2a(ii) of this Section).

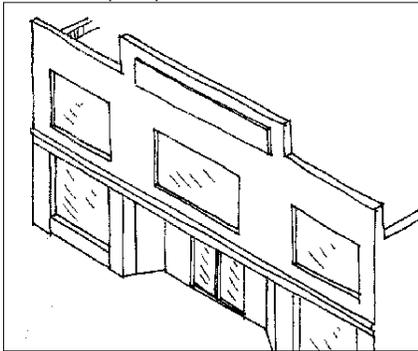


e. Building facade features (see subsection I2b(i) of this Section).

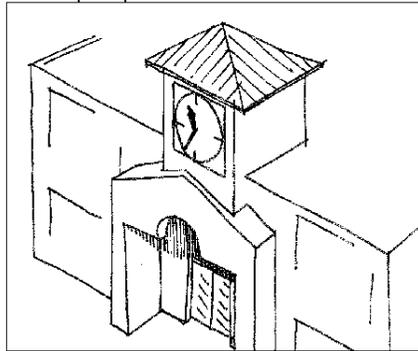


f. Preferred roof forms (see subsection I3a of this Section). (Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

Extended parapets



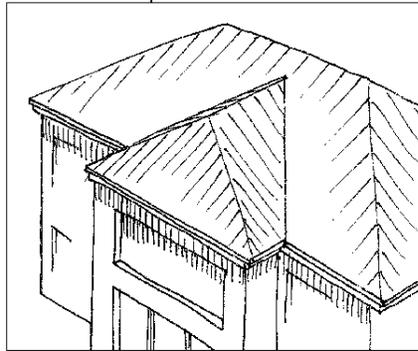
Feature elements projecting above parapets



Projected cornices



Pitched or sloped roofs



J SIGNAGE:

Intent: To provide a means of identifying and advertising businesses; provide directional assistance; encourage signs that are both clear and of appropriate scale for the project; encourage quality signage that contributes to the character of the Urban Center and the Center Village; and create color and interest.

1. Minimum Standards for Districts 'C' and 'D':

- a. Signage shall be an integral part of the design approach to the building.
- b. Corporate logos and signs shall be sized appropriately for their location.
- c. Prohibited signs include (see illustration, subsection J3a of this Section):
 - i. Pole signs.
 - ii. Roof signs.
 - iii. Back-lit signs with letters or graphics on a plastic sheet (can signs or illuminated cabinet signs). Exceptions: Back-lit logo signs less than ten (10) square feet are permitted as are signs with only the individual letters back-lit.
- d. In mixed use and multi-use buildings, signage shall be coordinated with the overall building design.
- e. Freestanding ground-related monument signs, with the exception of primary entry signs, shall be limited to five feet (5') above finished grade, including support structure. All such signs shall include decorative landscaping (groundcover and/or shrubs) to provide seasonal interest in the area surrounding the sign. Alternately, signage may incorporate stone, brick, or other decorative materials as approved by the Director.
- f. Entry signs shall be limited to the name of the larger development.

2. Guidelines Applicable to Districts 'C' and 'D':

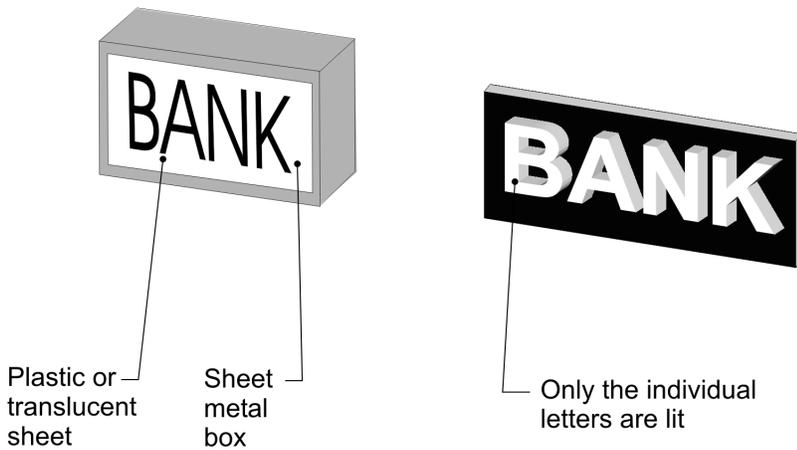
- a. Alteration of trademarks notwithstanding, corporate signage should not be garish in color nor overly lit, although creative design, strong accent colors, and interesting surface materials and lighting techniques are encouraged.
- b. Front-lit, ground-mounted monument signs are the preferred type of freestanding sign.
- c. Blade type signs, proportional to the building facade on which they are mounted, are encouraged on pedestrian-oriented streets.

3. Illustrations.

- a. **Acceptable and unacceptable signs (see subsection J1c of this Section).**

Typical “can signs”
are not acceptable

Internally lit letters
or graphics are acceptable



(Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

K LIGHTING:

Intent: To ensure safety and security; provide adequate lighting levels in pedestrian areas such as plazas, pedestrian walkways, parking areas, building entries, and other public places; and increase the visual attractiveness of the area at all times of the day and night.

1. Minimum Standards for Districts `A' ~~and~~, `C', and `D':

- a. Lighting shall conform to on-site exterior lighting regulations located in RMC 4-4-075, Lighting, Exterior On-Site.
- b. Lighting shall be provided on-site to increase security, but shall not be allowed to directly project off-site.
- c. Pedestrian-scale lighting shall be provided, for both safety and aesthetics, along all streets, at primary and secondary building entrances, at building facades, and at pedestrian-oriented spaces.

2. Guidelines Applicable to Districts `C' ~~and~~ `D':

- a. Accent lighting should be provided at focal points such as gateways, public art, and significant landscape features such as specimen trees.
- b. Additional lighting to provide interest in the pedestrian environment may include sconces on building facades, awnings with down-lighting, decorative street lighting, etc. (Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

L. MODIFICATION OF MINIMUM STANDARDS:

1. The ~~Director of the Development Services~~**Reviewing Official Division** shall have the authority to modify the minimum standards of the design regulations, subject to the provisions of RMC 4-9-250D, Modification Procedures, and the following requirements:

- a. The project as a whole meets the intent of the minimum standards and guidelines in subsections E, F, G, H, I, J, and K of the design regulations;
- b. The requested modification meets the intent of the applicable design standard;
- c. The modification will not have a detrimental effect on nearby properties and the City as a whole;
- d. The deviation manifests high quality design; and
- e. The modification will enhance the pedestrian environment on the abutting and/or adjacent streets and/or pathways.

2. Exceptions for Districts A and B: Modifications to the requirements in subsections E2a and E3a of this Section are limited to the following circumstances:

- a. When the building is oriented to an interior courtyard, and the courtyard has a prominent entry and walkway connecting directly to the public sidewalk; or
- b. When a building includes an architectural feature that connects the building entry to the public sidewalk; or
- c. In complexes with several buildings, when the building is oriented to an internal integrated walkway system with prominent connections to the public sidewalk(s). (Ord. 5124, 2-7-2005)

M VARIANCE:

(Reserved). (Ord. 5124, 2-7-2005)

N APPEALS:

For appeals of administrative decisions made pursuant to the design regulations, see RMC 4-8-110, Appeals. (Ord. 4821, 12-20-1999; Amd. Ord. 4971, 6-10-2002; Ord. 5029, 11-24-03; Ord. 5124, 2-7-2005)

SECTION XVI. Section 4-4-080F.10e of Chapter 4, City-wide Property Development Standards of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended as shown in Attachment ‘H’.

SECTION XVII. Section 4-7-170F of Chapter R, City-wide Property Development Standards of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended as follows:

F. PIPESTEM LOTS ALLOWED:

Pipestem lots may be permitted for new plats to achieve the minimum density densities permitted within the Zoning Code when there is no other feasible alternative to achieving the permitted minimum density.

- 1. Minimum Lot Size and Pipestem Width and Length:** The pipestem shall not exceed one hundred fifty feet (150’) in length and not be less than twenty feet (20’) in width. The portion of the lot narrower than eighty percent (80%) of the minimum permitted width shall not be used for lot area calculations nor for measurement of required front yard setbacks. Land area included in private access easements shall not be included in lot area calculations. (Amd. Ord. 4751, 11-16-1998; Ord. 4999, 1-13-2003)
- 2. Shared Access Requirements:** Abutting pipestem lots shall have a shared private access driveway. A restrictive covenant will be required on both parcels for maintenance of the pipestem driveway. Walkways shall be paved for their entire width and length with a permanent surface and shall be adequately lighted at the developer’s cost. (Amd.Ord. 4999, 1-13-2003; Ord. 5100, 11-1-2004)

SECTION XVIII. Section 4-8-120D.21 of Chapter 8, Permits- General and Appeals, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to revise the following definition:

Urban ~~Center Design Overlay District~~Regulations Review Packet: A set of submission materials required for projects in the Urban Center Design Overlay Districts subject to the Urban Design Regulations in RMC 4-3-100:

- a. Site plan, land use review;
- b. Elevations, architectural;
- c. Floor plans, general;
- d. Narrative outlining how the applicant’s proposal addresses the City’s Urban ~~Center~~-Design ~~Overlay~~ Regulations.

SECTION XIX. Section 4-9-065D of Chapter 9, Permits- Specific, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended as shown in Attachment ‘I’.

SECTION XX. The definition of “AFFORDABLE HOUSING” in Section 4-11-010 of Chapter 11, Definitions, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

AFFORDABLE HOUSING: Housing used as a primary residence for any household whose income is less than eighty percent (80%) of the median annual income adjusted for household size, as determined by the Department of Housing and Urban Development (HUD) for the Seattle Metropolitan Statistical Area, and who pay no more than thirty percent (30%) of household income for housing expenses. Affordable housing used to satisfy zoning requirements, whether for inclusionary or bonus provisions, must be secured to remain affordable in perpetuity, as determined by the City attorney.

SECTION XXI. The definition of “DWELLING, MULTI-FAMILY” in Section 4-11-040 of Chapter 11, Definitions, of Title IV (Development Regulations) of Ordinance No. 4260 entitled “Code of General Ordinances of the City of Renton, Washington” is hereby amended to read as follows:

DWELLING, MULTI-FAMILY:

Dwelling, Attached: A one-family dwelling attached to one or more one-family dwellings by common roofs, walls, or floors. This definition may also include a dwelling unit or units attached to garages or other nonresidential uses. This definition does not include retirement residences, boarding and lodging houses, accessory dwelling units, adult family homes, group home I or group home II as defined herein.

- A. Flat:** A residential building containing two (2) or more dwelling units which are attached at one or more common roofs, walls, or floors. Typically, the unit’s habitable area is provided on a single level. Unit entrances may or may not be provided from a common corridor.

- B. Townhouse:** A one-family, ground-related dwelling attached to one or more such units in which each unit has its own exterior, ground-level access to the outside, no unit is located over another unit, and each unit is separated from any other unit by one or more vertical common walls. ~~Typically~~ Townhouse ~~the~~ units are multi-story.
- C. Carriage House:** One or more accessory dwelling units attached to a garage. The garage attached to the carriage house typically contains vehicle and/or storage for people living in another building as well as occupants of the carriage house.
- D. Penthouse:** A single dwelling unit located at or near the top of a building containing other, non-residential uses.
- E. Garden Style Apartment:** A dwelling unit that is one of several stacked vertically, ~~frequently~~ with exterior stairways and/or exterior corridors and surface parking. Parking is ~~usually at grade with not~~ structured ~~or and may include with~~ detached carports or garages. Buildings and building entries are oriented toward internal drive aisles and/or parking lots and not street frontage. Buildings typically have access from internal drive aisles and/or parking lots. The building usually turns its back to the front yard. There is typically no formal building entry area connected to a public sidewalk and a public street. Site planning may incorporate structures developed at low landscaped setbacks.

SECTION XXII. This ordinance shall be effective upon its passage, approval, and five days after publication.

PASSED BY THE CITY COUNCIL this _____ day of _____, 2006.

Bonnie Walton, City Clerk

APPROVED BY THE MAYOR this _____ day of _____, 2006.

Kathy Keolker, Mayor

Approved as to form:

Lawrence J. Warren, City Attorney

Date of Publication: _____

ORD.