

REPORT TO THE HEARING EXAMINER

A. SUMMARY AND PURPOSE OF REQUEST

HEARING DATE:	April 14, 2015
Project Name:	Longacres Business Center
Owner:	Longacres Renton, LLC / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018
Applicant:	Molly Carson, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018
Contact:	Dave Williams, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018
File Number:	LUA15-000076, ECF, SA-H, MOD
Project Manager:	Clark H. Close, Associate Planner

Project Summary: The applicant is requesting Hearing Examiner Site Plan Review, SEPA Environmental Review, and a Street Modification for two (2) standalone buildings totaling 250,825 square feet (SF). The vacant 11.8 acre site is located at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. Site access will be served from SW 27th St and Naches Ave SW. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The project site was included in the design of the existing storm drainage treatment system and the site contains High Seismic Hazards.

Project Location: SW Corner of Naches Ave SW & SW 27th St (Approximately at 2715 Naches Ave SW)



Project Location Map

B. EXHIBITS TO THIS REPORT:

- Exhibit 21: Report to Hearing Examiner
- Exhibit 22: Notice of Application (dated February 17, 2015)
- Exhibit 23: Preliminary Drainage Report by WHPacific (revised date March 24, 2015)
- Exhibit 24: Request for Street Modification Improvements on Naches Ave NW (dated March 25, 2015)
- Exhibit 25: Boeing Longacres Property Second Amended Binding Site Plan (Rec. No. 20050504000673)
- Exhibit 26: Traffic Concurrency Test for Longacres Business Center: Lee
- Exhibit 27: Street Modification Memo: Lee
- Exhibit 28: Staff recommended street frontage design site plan
- Exhibit 29: Environmental "SEPA" Determination, ERC Mitigation Measures and Advisory Notes
- Exhibit 30: Notice of Environmental Determination and Public Hearing
- Exhibit 31: Affidavit of Posting and Mailing

C. GENERAL INFORMATION:

- 1. **Owner(s) of Record:** Longacres Renton, LLC / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018
- 2. **Zoning Classification:** Commercial Office (CO)
- 3. **Comprehensive Plan Land Use Designation:** Employment Area Valley (EAV)
- 4. **Existing Site Use:** Vacant covered with a moderate growth of brush, weeds and grass
- 5. **Neighborhood Characteristics:**
 - a. **North:** Commercial Office (CO)
 - b. **East:** Commercial Office (CO)
 - c. **South:** Commercial Office (CO)
 - d. **West:** Resource Conservation (RC), Burlington Northern Railroad
- 6. **Access:** Vehicular access to the site is from four (4) separate access driveways from both SW 27th St and Naches Ave SW. The site access driveway on SW 27th St is restricted to right-in, right-out only. The remaining three (3) driveways are from Naches Ave SW. Truck ingress/egress will be provided at the southernmost access at the existing cul-de-sac.
- 7. **Site Area:** ±513,888 square feet (±11.8 acres)

D. HISTORICAL/BACKGROUND:

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Approved Date</u>
Comprehensive Plan	N/A	5228	11/27/2006
Zoning	N/A	5100	11/01/2004
Annexation (S 180th)	A-002-59	1745	04/19/1959

Development Agreement (Recording No. 20030221002405)	N/A	N/A	02/21/2003
Strander Agreement (CAG-02-211) (Recording No. 20060420001032)	N/A	N/A	04/20/2006
Boeing Longacres Property Second Amended Binding Site Plan (Rec. No. 20050504000673)	N/A	N/A	05/04/2005

E. PUBLIC SERVICES:

1. Existing Utilities

- a. Water: The proposed development is within the City of Renton's 196 pressure zone water service area. There is an existing 12-inch water main in Naches Ave SW that ends at the cul-de-sac (refer to City project plan no. W-3399). There is also an existing 12-inch water main in SW 27th St (AKA Stander Blvd) that ends about 350 feet west of Naches Ave SW.
- b. Sewer: Sewer service is provided by the City of Renton. There is an existing 8-inch sewer main in Naches Avenue SW. Connect 6-inch (minimum) side sewers as necessary to meet the project's needs.
- c. Surface/Storm Water: There is an existing 12-inch to 18-inch diameter storm conveyance system in Naches Ave SW and a detention/wet pond to the southeast of the site.

- 2. Streets**: The existing right-of-way on SW 27th St is approximately 90 feet in width and is classified as a minor arterial. There are existing street frontage improvements, including a sidewalk and landscape strip, on the east side of Naches Ave SW. The project fronts SW 27th Street and Naches Ave SW.

- 3. Fire Protection**: City of Renton Fire Department.

F. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE (RMC):

1. Chapter 2 Land Use Districts

- a. Section 4-2-020: Purpose and Intent of Zoning Districts
- b. Section 4-2-060: Zoning Use Table – Uses Allowed in Zoning Designations
- c. Section 4-2-120A: Development Standards for Commercial Zoning Designations

2. Chapter 3 Environmental Regulations and Overlay Districts

- a. Section 4-3-050: Critical Areas Regulations

3. Chapter 4 City-Wide Property Development Standards

- a. Section 4-4-030: Development Guidelines and Regulations – General
- b. Section 4-4-070: Landscaping
- c. Section 4-4-080: Parking, Loading and Driveway Regulations
- d. Section 4-4-090: Refuse and Recyclables Standards
- e. Section 4-4-130: Tree Cutting and Land Clearing Regulations

4. Chapter 6 Streets and Utility Standards

- a. Section 4-6-060: Street Standards

5. Chapter 9 Procedures and Review Criteria

- a. Section 4-9-070: Environmental Review Procedures
- b. Section 4-9-200: Site Plan Review

c. Section 4-9-250: Variances, Waivers, Modifications, Alternates

6. Chapter 11 Definitions

G. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:

1. Land Use Element
2. Community Design Element

H. FINDINGS OF FACT:

1. The applicant requested SEPA Environmental Review, Hearing Examiner Site Plan Review, and Street Modification for construction of a three-story general office building totaling 146,910 square feet with overall height of 46 feet and a two-story general office, laboratory, and warehouse building totaling 103,915 square feet with an overall height of 36 feet.
2. The Planning Division of the City of Renton accepted an application for SEPA Environmental Review, Hearing Examiner Site Plan Review, Hearing Examiner Conditional Use Permit, and a modification request for review on February 12, 2015 and determined it complete on February 17, 2015 (*Exhibit 22*). The project complies with the 120-day review period.
3. The project site consists of five (5) parcels: APNs 088670-0270, -0280, -0290, -0300, and -0310. The approximate address is 2715 Naches Ave SW, located on the southwest corner of SW 27th St & Naches Ave SW (*Exhibits 2 & 3*).
4. The Longacres Business Center site is somewhat rectangular in shape, being roughly 870 feet long down the middle (north to south) and 610 feet wide down the middle (east to west). The project is generally bounded by CO zoning to the north, east, and south and RC zoning separates the site from Tukwila to the west of the property.
5. The project site is located within the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zoning classification.
6. City ordinances governing the development of land up to and including adopted Ordinance No. 4877, per Development Agreement No. 20030221002405 (*Exhibit 17*), therefore all development regulations cited herein are dated on or before Ordinance No. 4877, effective December 13, 2000.
7. Public access is served by right-in/right-out only on SW 27th Street. Interior circulation includes several 24-foot two-way drive aisles throughout the 790 stall surface parking lot (*Exhibit 3*).
8. The topography of the site is mostly level with elevations at or near 28 feet; it slopes off towards the property lines with the largest elevation change near the north property line near the retaining wall (*Exhibit 4*).
9. The applicant submitted an Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015). According to the report the site contains no wetlands, flood zones, streams, lakes, or critical habitats on or adjacent to the property based on a review of third party work and online resources (*Exhibit 15*).
10. A Geotechnical Report for the site was prepared by Terra Associates, Inc. (dated January 26, 2015; *Exhibit 11*); the report recommends that the heavier three-story building (Building A) loads could be mitigated from potential settlement-related impacts by supporting the structure on piles or on spread footings, bearing on ground conditions improve by installing, rammed aggregate piers/stone columns. The lighter loaded two-story building (Building B) could be supported on conventional spread footings following completion of a building fill surcharge program.

11. The overall building footprint of Building A is 48,832 square feet and the overall building footprint of Building B is 61,868 square feet (*Exhibit 7*).
12. The site is undeveloped and covered with a moderate growth of brush, weeds, grass, and trees. The site contains a gravel road along the south shared property line and parallel with the west property line. Near the northwest corner there is an asphalt strip leading to the retaining wall (*Exhibit 4*).
13. There are a total of nine (9) significant trees onsite. One of the original 9 trees, on or near the southwest property line, was identified on the landscaping plan as being retained (*Exhibit 5*).
14. The applicant submitted a conceptual landscape plan which includes the installation of 38 deciduous street trees (shademaster thornless honeylocust, English oak, and greenspire Linden), 120 onsite drought resistant deciduous trees (vine maple, luster serviceberry, red alder, hackberry, dogwood, Oregon white oak, Japanese zelkova), and 71 onsite drought resistant evergreen trees (marina madrone, incense cedar, shore pine, and Douglas fir). The proposed planting plan also includes 1,652 shrubs and 5,137 ground cover plants throughout the site (*Exhibit 5*).
15. The applicant submitted a Preliminary Drainage Report by WHPacific (revised date March 24, 2015; *Exhibit 23*). The drainage report follows the 1990 King County Surface Water Design Manual (KCSWDM). According to the report, the proposed project was included in the design of the existing storm drainage treatment system, located across Naches Ave SW to the south and east of the project, and there is no evidence that it was not adequately sized or constructed to serve the proposed construction.
16. On March 23, 2015, the Environmental Review Committee, pursuant to the City of Renton's Environmental Ordinance and SEPA (RCW 43.21C, 1971 as amended), issued a Determination of Non-Significance - Mitigated (DNS-M) for Longacres Business Center (*Exhibit 28*). The DNS-M included one (4) mitigation measure. A 14-day appeal period commenced on March 27, 2015 and ended on April 10, 2015. No appeals of the threshold determination have been filed.
17. Based on an analysis of probable impacts from the proposal, the Environmental Review Committee (ERC) issued the following mitigation measure with the Determination of Non-Significance – Mitigated:
 1. Project construction shall be required to comply with the recommendations found in the Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015).
 2. The applicant shall provide street frontage improvements on the south side of SW 27th Street (Stander Blvd) right-of-way. Street improvements shall include a six-foot planter strip followed by a six-foot concrete sidewalk. The street frontage right-of-way improvements shall begin at the southwest intersection of SW 27th Street and Naches Ave SW and continue west towards Burlington Northern Railroad for a total distance of 360 feet beyond the existing intersection centerline or until the easterly limits of the existing fire hydrant located approximately 65 feet west of the proposed driveway access on SW 27th Street.
 3. The applicant shall provide a minimum 30-foot wide landscaped buffer with a berm along SW 27th Street. The 30-foot landscape berm shall begin measuring from behind the required six-foot sidewalk. The width of the buffer may be reduced to no less than 15 feet near the existing retaining wall at the northwest property line.
 4. The applicant shall be subject to independent secondary peer review of the submitted Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015) for the proposed surcharging to obtain the desired net allowable bearing capacity for the conventional spread footing design of the two-story building. The secondary review shall be at the expense of the applicant. The applicant may forgo secondary review should they choose an alternate

ground improvement technique, such as vibrated stone columns or aggregate rammed piers, due to the site’s high seismic hazards.

18. Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments have been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report.
19. The applicant has requested Site Plan Review and a Street Modification. The following table contains project elements intended to comply with Site Plan Review decision criteria, as outlined in RMC 4-9-200:

SITE PLAN REVIEW CRITERIA:	
a. COMPREHENSIVE PLAN COMPLIANCE AND CONSISTENCY:	
<p>The site is designated Employment Area Valley (EAV) on the Comprehensive Plan Land Use Map. There are two Employment Area Land Use Designations: Employment Area – Industrial, and Employment Area – Valley. Flexibility is encouraged in the Employment Areas by allowing a range of uses and multiple users on sites. Research and development businesses may need to evolve into production and distribution facilities as products are developed and receive approval for marketing. A flexible approach can facilitate business development and stimulate creation of nodes of employment activity supported by commercial and service uses. The goal of employment areas is to achieve a mix of land uses including industrial, high technology, office, and commercial activities in Employment Areas that lead to economic growth and a strengthening of Renton’s employment base.</p> <p>The purpose of the Employment Area – Valley designation is to allow the gradual transition of the Valley from traditional industrial and warehousing uses to more intensive retail service and office activities. The intent is to allow these new activities without making industrial uses non-conforming and without restricting the ability of existing businesses to expand.</p>	
✓	Objective LU-HHH: <i>Provide for a mix of employment-based uses, including commercial, office, and industrial development to support the economic development of the City of Renton.</i>
✓	Policy LU-305. <i>Multi-story office uses should be located in areas most likely to be served by future multi-modal transportation opportunities. A greater emphasis on public amenities is appropriate for this type of use.</i>
✓	Policy LU-306. <i>Uses such as research, design, and development facilities should be allowed in office designations and industrial designations when potential adverse impacts to surrounding uses can be mitigated.</i>
✓	Policy LU-307. <i>Recognize viable existing and allow new industrial uses in the Valley, while promoting the gradual transition of uses on sites with good access and visibility to more intensive commercial and office use.</i>
✓	Policy LU-315. <i>Commercial Office zoning should be supported where a site has high visibility, particularly in those portions of the Valley that are gateways and/or along the I-405 and SR 167 corridors, where larger sites can accommodate more intensive uses, and where sites can take advantage of existing and/or future multi-modal transportation opportunities.</i>
✓	Policy LU-317. <i>Site plan review should be required for all new projects in the Employment Area-Valley pursuant to thresholds established in the City’s development regulations.</i>
✓	Policy LU-318. <i>New development, or site redevelopment, should conform to development standards that include scale of building, building façade treatment to reduce perception of</i>

	<i>bulk, relationship between buildings, and landscaping.</i>
✓	Policy CD-20. <i>Orient site and building design primarily toward pedestrians through master planning, building location, and design guidelines.</i>
✓	Policy CD-21. <i>In areas developed with high intensity uses, circulation within the site should be primarily pedestrian-oriented. Internal site circulation of vehicles should be separated from pedestrians wherever feasible by dedicated walkways.</i>
✓	Policy CD-23. <i>Development should have buildings oriented toward the street or a common area rather than toward parking lots.</i>
✓	Policy CD-30. <i>Non-residential development should have site plans that provide street access from a principal arterial, consolidate access points to existing streets, and have internal vehicular circulation that supports shared access. Curb cuts and internal access should not conflict with pedestrian circulation.</i>
✓	Policy CD-35. <i>Support commercial and industrial development plans incorporating the following features (only applicable features are listed): 1) Shared access points and fewer curb cuts; 2) More than one use into a single development; 3) Internal circulation among adjacent parcels; 4) Shared facilities for parking, transit, recreation, and amenities; 5) Unified development concepts; and 6) Landscaping and streetscape that softens visual impacts.</i>
✓	Policy CD-39. <i>Ensure quality development by supporting site plans and plats that incorporate quality building, development, and landscaping standards that reflect unity of design and create a distinct sense of place.</i>
✓	Policy CD-40. <i>Use design regulations to provide direction on site design, building design, landscape treatments, and parking and circulation.</i>
✓	Policy CD-41. <i>Site design of development should relate, connect, and continue design quality and site function from parcel to parcel.</i>
✓	Policy CD-55. <i>Landscape buffers, additional setbacks, reduced height, and screening devices, such as berms and fencing, should be employed to reduce impacts (e.g. visual, noise, odor, light) on adjacent, less intensive uses.</i>
✓	Policy CD-56. <i>Office sites and structures should be designed (e.g. signage; building height, bulk and setback; landscaping; parking) to mitigate adverse impacts on adjacent land uses.</i>

b. ZONING COMPLIANCE AND CONSISTENCY:

The subject site is classified **Commercial Office (CO)** on the City of Renton Zoning Map. The Commercial Office zone implements the Employment Area Valley Land Use designation. The Commercial Office Zone (CO) is established to provide areas appropriate for professional, administrative, and business offices and/or related uses. Office uses of various intensities are allowed in these areas to create an Employment Center. In addition, a mix of secondary uses which provide retail and service support to the employees of these areas are allowed, subject to special conditions. Limited light industrial activities, which can effectively blend in with an office environment, are included as secondary uses, as are medical institutions, convalescent centers, nursing homes and retirement residences. In keeping with adopted land use policies, the zone allows a mix of uses subject to special development standards, which are intended to ensure a qualitative working environment. The following are applicable to the proposal:

Lot Dimensions: Per RMC 4-2-120B, the minimum lot size in the CO zone is 25,000 square feet.

Staff Comment: The project site consists of five parcels. The parcels range in size from 79,865 square feet (APN 0886700290) to 177,720 square feet (APN 0886700270) with an average lot size of 107,138 square feet. Each lot meets the minimum lot size of the zone (Exhibits 2 - 4).

Lot Coverage: Per RMC 4-2-120B the CO zoning designation has an allowed lot coverage of 65 percent (65%) for buildings.

Staff Comment: Based on conceptual site plans, the total building footprint is 110,700 square feet. The two buildings will be located on four of the five lots. The applicant must complete a lot combination or lot line adjustment prior to building permit issuance. Through a lot combination of all lots the two buildings would meet the lot coverage thresholds of the zone by covering only 21.5% (110,700 sf / 513,888 sf = 33.5%) of the entire site.

Additionally, there are no impervious coverage maximums for the zone. The proposed structure with other associated improvements including impervious surfaces for parking area would cover approximately 80 to 90 percent of the site.

Building Height: Per RMC 4-2-120B building height is restricted to 250 feet, or 20 feet more than the maximum height allowed in the adjacent residential zone.

Staff Comment: The 3-story building (Building A) has a building height of 46 feet (Exhibit 6). The structure has a parapet around the building that is 4 feet above the roof level (42 ft). The 2-story building (Building B) has a building height of 36 feet (Exhibit 6). The structure also has a parapet around the building and the roof height is 32 feet above grade. The proposal complies with the height requirements for commercial structure within the CO zone.

Setbacks: Per RMC 4-2-120B the CO zoning classification requires a 15-foot minimum front yard setback for buildings less than 25 feet (20 ft – buildings 25 ft to 80 ft in height). The CO zone has no rear or side yard setback except 15 feet if lot abuts or is adjacent to a residential zone.

Staff Comment: The project is generally bounded by CO zoning on all sides except the west property line, which is RC. The 3-story building, Building A, is located furthest north and west, and is roughly 125 feet east of the west property line and 95 feet south of the north property line. Building A measures approximately 127 feet wide by 405 in length, and is 46 feet in height. The 2-story building, Building B, is located roughly 91 feet west of the east property line and approximately 111 feet north of the south property line (near the cul-de-sac). Building B measures approximately 175 feet across and 370 feet in length, and is 36 feet in height. The proposed building meets the minimum and maximum setback requirements of the CO zone.

Landscaping: Per RMC 4-2-120B a minimum onsite landscaping of ten feet is required along the street frontage, except where reduced through the site plan review process. Additionally, a minimum 15-foot wide sight-obscuring landscape strip is required when a commercial zoned lot is adjacent to property zoned commercial.

Staff Comment: The property is covered by ground cover, including 95% grass/pasture and 5% low growing vegetation. There are also nine (9) "volunteer" trees growing on the site. The existing conditions map shows four (4) deciduous trees near the northwest property line, and four (4) cottonwood trees and one (1) poplar clump on or near the southwest property corner. The applicant is proposing to strip the site of all vegetation on the site. A single cottonwood on or near the southwest property line was identified on the landscaping plan as being retained, thus complying with the tree retention requirements of retaining 10 percent of existing significant trees in commercial zones (Exhibits 4 & 5). The applicant is proposing to replant the site with 38 deciduous street trees (shademaster thornless honeylocust, English oak, and greenspire Linden), 120 onsite

drought resistant deciduous trees (vine maple, luster serviceberry, red alder, hackberry, dogwood, Oregon white oak, Japanese zelkova), and 71 onsite drought resistant evergreen trees (marina madrone, incense cedar, shore pine, and Douglas fir). The applicant is also proposing to plant 1,652 shrubs and 5,137 ground cover plants throughout the site (Exhibit 5). A final detailed landscaping plan that complies with RMC 4-8-120 must be submitted and approved prior to issuance of the street and utility construction permits; staff recommends this as a condition of approval.

In order to create a meaningful landscape buffer between SW 27th Street and the proposed 790 surface parking lot, the Environmental Review Committee issued a mitigation measure that would provide a minimum 30-foot landscaped buffer with berm along SW 27th Street from the back of property line. The width of the buffer may be reduced to no less than 15 feet near the existing retaining wall at the northwest property line. The berming will have slopes of 3:1 (2:1 max), with a maximum height of four (4) feet.

The proposal includes 790 parking stalls for 188,585 square feet of office space and 62,240 square feet of manufacturing and warehouse space. The parking lots have perimeter landscaping. This is achieved through a conceptual landscaping plan that includes a minimum 10-foot buffer around the perimeter of the west, north and south property lines (Exhibit 5).

Additionally, the applicant has submitted for a street modification request on Naches Ave SW, as outlined in RMC 4-6-060F.2.d (right-of-way width 60 feet, pavement width of 40 feet, sidewalk width of 5 feet) that would reduce the street frontage onsite landscaping buffer to five at the pinch point at the first project entry (north of the first entrance into the site on Naches Ave SW). In lieu of providing the code-required street improvements, the applicant is proposing to construct a five-foot sidewalk and five-foot landscaping buffer from the NE corner of SW 27th Street along Naches Ave SW until the project entry (Exhibit 24). Provided there is no additional right-of-way dedication on Naches Ave SW, and the street modification is approved with a 5-foot sidewalk and 5-foot landscape buffer, the onsite landscaping buffer would maintain a minimum of five feet along the street frontage.

Staff is recommending a street modification that would reduce the street frontage landscaping to zero in limited portions of the site behind the sidewalk, with fluctuations up to eight feet between the first and second entrances on Naches Ave SW. Surface parking lots with 10,000 square feet or greater in area must provide a minimum of 5% of landscaping within the parking lot area in a pattern that reduces the barren appearance of the parking lot. The parking lot area totals 282,503 square feet. The applicant has provided 33,966 square feet of hardscape. The perimeter landscaping totals 51,567 square feet (10%) and the interior landscaping totals 34,945 square feet (7%). The landscaping islands have been dispersed throughout the parking area and they serve to reduce the barren appearance of the parking lot. All landscape islands meet the minimum five-foot width requirement. The placement of the buildings also contributes to the break-up of the 6.5-acre parking lot.

The City of Renton owns the 20-foot wide commercial property between the southwest parcel (APN 0886700300) and the Bank of America site (APN 0886700320). No additional landscaping above the 10-foot buffer is required between the applicant's parking lot and the City of Renton's commercially zoned service parcel.

Underground sprinkler systems are required to be installed and maintained for all landscaped areas, unless 100% of the landscaping is drought tolerant. The applicant is proposing drought resistant vegetation. The landscaping will be watered with a temporary irrigation system or by hand watering for a period of two years. A final detailed landscape plan will need to be submitted and approved prior to construction permit.

Screening: RMC 4-2-120B has standard requirements for surface mounted equipment to be screened or shielded from public view and standards for roof-top equipment that should be similarly screened

from view. Shielding shall consist of roof wells, clerestories, parapets, walls or enclosures as determined by the Administrator to meet the intent of the requirement.

The applicant is also proposing surface-mounted mechanical equipment (generator) and outdoor storage near the south end of Building B. All surface mounted equipment must be screened from public view and all outdoor storage must be screened from adjacent or abutting properties and public rights-of-way. Outdoor storage uses shall provide fencing, berming, and/or landscaping.

Staff Comment: The application has roof mounted mechanical equipment on both structures that will be screened around all sides, approximately 8 feet above the top of the parapet, in order to minimize the impacts on the pedestrian environment and adjacent uses. Compliance with rooftop screening will be verified at the time of building permit construction.

The proposed surface mounted equipment and outdoor storage is screened to the north by Building B, and to the west by a planter island bulb-out. No landscaping or screening is proposed on the south or east sides. Staff recommends landscaping along the south side of the generator in order to provide sufficient screening. Staff recommends, as a condition of approval, that the applicant add a minimum 10-foot wide landscape strip along the south side of the proposed generator. The landscape strip shall include a mixture of trees, plants and shrubs that combined accomplish a sufficient screen. The revised landscaping plant schedule and landscaping plan shall be submitted to and approved by the Current Planning Project Manager prior to construction permit approval.

Parking: The parking regulations, RMC 4-4-080F.10.e, require a specific number of off-street parking stalls for vehicles. The following ratios are required based on land use: 1) Offices – professional and businesses, a minimum of 3.0 per 1,000 square feet of gross floor area and not more than a maximum of 4.5 parking spaces per 1,000 square feet of gross floor area; 2) Manufacturing and other nonresidential developments, a minimum of 1 for each 1,000 square feet of gross floor area and no more than a maximum of 1.5 spaces per 1,000 square feet of gross floor area (but to include warehousing space); 3) Warehouses and storage buildings, 1 for each 1,500 square feet of gross floor area.

Bicycle parking is encouraged for the development. Based on the land use, the number of bicycle parking spaces should be equivalent to ten percent (10%) of the number of required off-street parking spaces.

Staff Comment: The applicant is proposing 135 compact stalls (17%), 638 standard stalls (81%), and 17 ADA stalls (2%) for a total of 790 parking stalls. Based on the parking regulations, Building A would have a required minimum stall count of 441 and a maximum stall count of 661, and Building B would have a required minimum stall count of 180 and a maximum stall count of 264. Together the two buildings would have a minimum off-street parking stall requirement of 621 and a maximum stall requirement of 925. The proposed 790 stalls falls within the minimum and maximum parking regulations of the code. So that the parking is located on the same lot as the structure, staff recommends as a condition of approval that, the applicant complete a lot combination into a single lot or a lot line adjustment, such that the required parking is on the same lot as each structure, pursuant to the minimum code standards per building. Should the applicant choose to complete a lot line adjustment with more than one lot, staff is recommending as a condition of approval that a cross access agreement and/or a shared parking agreement be provided with the development.

The parking lot is designed with 24-foot-wide two-way travel aisles throughout the site. All parking onsite will be 9 feet wide by 20 feet deep for standard parking stalls and 8 feet wide by 16 feet deep for compact parking stall, which is in compliance with RMC 4-4-080F.8. The use of landscaping is an integral component of the parking lot design; see Landscaping discussion for more information.

Bicycle parking is encouraged for the development. The subject site is located just south of Sound

Transits Tukwila train station. The new office buildings would be within walking and biking distance from this transportation hub. As a result, it is reasonable to assume many employees may be utilizing Sound Transit to commute to work; therefore, staff recommends as a condition of approval that the applicant comply with 50% of the current adopted bicycle parking code. Based on the land use, the number of bicycle parking spaces should be equivalent to ten percent (10%) of the number of required off-street parking spaces. There is limited space between the buildings that would support bicycle racks and bicycle parking. Staff recommends, as a condition of approval, that the applicant add 31 bicycle parking spaces. Bicycle parking shall be provided for secure extended use and shall protect the entire bicycle and its components and accessories from theft and weather. Acceptable examples include bike lockers, bike check-in systems, in-building parking, and limited access fenced areas with weather protection. A final bicycle parking plan shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval.

Loading Docks: RMC 4-2-120B provides approved locations for loading docks in the CO zone. They are not permitted adjacent or abutting to a residential zone.

Staff Comment: The proposal includes one loading dock on south elevation of Building B. The site plan provides a 100-foot truck apron as a clear maneuvering area in front of the loading doors. The loading dock faces Naches Ave SW and the stormwater detention pond across the street. The parcels that are adjacent to the loading dock location are all zoned CO and do not abut to a residential zone.

Pedestrian Access: For the CO zone, per RMC 4-2-120B, a pedestrian connection shall be provided from a public entrance to the street, unless the Hearing Examiner determines that the requirement would unduly endanger the pedestrian.

Staff Comment: This section of code is intended to provide pedestrian connections from the public entrance to the public street. The applicant is proposing a common pedestrian connection between the building entrances and SW 27th Street, as well as around each building. No direct sidewalk connection is provided from the buildings to Naches Ave SW. Staff recommends, as a condition of approval, that one additional pedestrian sidewalk connection on the south end of Building B be added from the proposed six-foot (6') sidewalk along the east side of Building B to the staff proposed five-foot (5') wide sidewalk on Naches Ave SW. The two sidewalk connections shall be a minimum of 5 feet wide. A revised site plan shall be submitted to and approved by the Current Planning Project Manager prior to prior to building permit approval.

Refuse and Recyclables: RMC 4-2-120B and RMC 4-4-090 provide specific standards for garbage, refuse, dumpster areas, and recyclables. Outdoor refuse and recyclables deposit areas and collection points shall not be located within 50 feet of a residential zoned property and in no case shall garbage, refuse, or dumpster areas be located within the required setback or landscape areas. The collection points must also be located in a manner so that hauling trucks do not obstruct pedestrian or vehicle traffic onsite or public right-of-way.

Collection points shall be of sufficient width and depth to enclose containers for refuse and recyclables and allow easy user access, including a gate opening at least 12 feet wide for haulers and a vertical clearance of 15 feet. They must also be identified by signs not exceeding two (2) square feet.

Architectural design of any structure enclosing an outdoor refuse or recyclables deposit area or any building primarily used to contain a refuse or recyclables deposit area shall be consistent with the design of the primary structure on the site. The Collection areas must be screen with a six-foot (6') wall or fence or screened and provide weather protection by using weather-proofed containers or by providing a roof over the storage area.

Staff Comment: Each use has a different refuse and recyclables requirement; the table below is based

on standards required in RMC 4-4-090E:

Use	Recyclables Deposit Areas (Minimum)	Subtotal (SF)	Refuse Deposit Areas (Minimum)	Subtotal (SF)	Total Area Required (SF)
Office 146,910 SF (Building A)	2 sf per 1,000 gross sf	293.82	4 sf per 1,000 gross sf	587.64	881.46
Total (Building A)		293.82		587.64	881.46
Office 41,675 SF (Building B)	2 sf per 1,000 gross sf	83.35	4 sf per 1,000 gross sf	166.7	250.05
Manufacturing & Warehouse; 62,240 SF (Building B)	3 sf per 1,000 gross sf	186.72	6 sf per 1,000 gross sf	373.44	560.16
Total (Building B)		270.07		540.14	810.21
Refuse and Recyclables Totals					1,691.67

The applicant is proposing two separate refuse and recyclable areas. Building A's refuse and recyclable collection area is located 10 feet from the west property line, just south of the building line extended. The location of the deposit areas is outside the required setback or landscape areas. The design consists of 2-inch CMU block (painted) wall on three sides. The overall height of the wall is 6'-2" above a 4-inch concrete slab. The gate openings are 13.5 feet or wider as required for haulers for each of the four deposit enclosures. No roof structure is proposed; therefore, weather-proofed containers are required.

The refuse and recyclable deposit areas for Building B meet the minimum size requirements of 270 square feet for recyclables (13.5 ft x 20 ft) and 540 for refuse (27 ft x 20 ft). Alternatively, the applicant is proposing a refuse deposit area measuring 27 feet wide by 20 feet deep (540 SF) and a recyclable deposit area 18 feet wide by 20 feet deep (360 SF) for Building A. The refuse deposit area is slightly undersized and the recyclable deposit area is somewhat oversized. The applicant needs to shift the center wall such that the sizes of the refuse and recyclable deposit areas match the minimum totals, identified in the table above (this could be accomplished by increasing the width of the refuse by 2.5 feet and reducing the width of the recyclable area by 2.5 feet). Staff recommends, as a condition of approval, that the applicant modify the width of the refuse and recyclable deposit areas for Building A, such that the sizes of the deposit areas meet the minimum areas. A revised trash enclosure detail(s), meeting the minimum size requirement for each refuse and recycling area, shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval. Additionally, the architectural design of any structure enclosing an outdoor refuse or recyclables deposit area shall be consistent with the design of the primary structures.

Signs: The applicant would be required to comply with the signage requirements outlined in RMC 4-4-100 at the time of sign application.

Staff Comment: The applicant did not submit a signage package for the proposed Longacres Business Center. Staff recommends, as a condition of approval, that the applicant be required to submit a conceptual sign package, which indicates the approximate location of all exterior monument and/or building signage. Proposed signage shall be compatible with the building's architecture and exterior finishes. The conceptual sign package shall be submitted to and approved by the Current Planning

Project Manager prior to building permit approval.

Critical Areas: As indicated by the 1995 Effective FEMA Flood Insurance Rate Map (Exhibit 8), the proposed site does not lie within a floodplain or floodway. According to the Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015; Exhibit 15) the site contains no wetlands, flood zones, streams, lakes, or critical habitats on or adjacent to the property, based on a review of third party work and online resources. However, the site is located within a high seismic hazard area.

Additionally, the National Wetland Inventory (NWI) map did not identify a wetland area on or adjacent to the property. A wetland area was identified approximately 250 feet south-southeast of the property. A report entitled "Longacres Office Park, Surface Water Management Project, Conceptual Wetland Mitigation Plan" prepared by Shapiro and Associates, Inc. (dated August 1998) was prepared for a 164-acre parcel which included the subject property.

c. DESIGN REGULATION COMPLIANCE AND CONSISTENCY:

Not applicable.

d. PLANNED ACTION ORDINANCE AND DEVELOPMENT AGREEMENT COMPLIANCE AND CONSISTENCY:

Not applicable.

e. OFF-SITE IMPACTS:

Structures: Restricting overscale structures and overconcentration of development on a particular portion of the site.

Staff Comment: The proposed structures utilize less building coverage and height than allowed for in the zone. The buildings would be located more towards the center of the project site with surface parking areas located around the buildings on, at least portions, of all sides of the buildings. The building's orientation and entrance would face the north and east towards the public streets. The proposed buildings would have a combined footprint of 110,700 square feet, which does not include future expansions on the 11.8 acre site resulting in a combined building lot coverage of approximately 21.5%. The proposal would not be an overscale structure or overconcentration of development on the subject site as the proposal does not exceed maximum height, lot coverage, and setback requirements. The scale, height and bulk of the proposed building are also appropriate for the scale of the site. The applicant has achieved compatibility with the surrounding uses through substantial setbacks and proposed landscaping. Additionally, SEPA conditions for frontage improvements on SW 27th St and a 30-foot wide onsite landscape buffer and berm would also serve to create compatibility with surrounding properties.

City staff does not anticipate any adverse impact on surrounding properties and uses as long as the conditions of approval are complied with.

Circulation: Providing desirable transitions and linkages between uses, streets, walkways and adjacent properties.

Staff Comment: There are no existing driveways along the property frontages of the site. The applicant is proposing four (4) separate full access driveways from both SW 27th St and Naches Ave SW. The site access driveway on SW 27th St would be located roughly 300 feet west of the NW 27th St/Naches Ave SW intersection and would be restricted to right-in, right-out only. The remaining three (3) driveways are located off of Naches Ave SW (approx. 380 ft, 870 ft and 1160 ft) from the intersection and each meets the maximum number of driveways for single ownership. Truck ingress/egress will be provided at the southernmost access at the existing cul-de-sac. The main driveway approach is located approximately 180 feet south the Federal Reserve gated entry point on

Naches Ave SW in order to avoid any miscommunication between the two entities. See Pedestrian Access subsection above for more information.

The proposal promotes safe and efficient circulation through the proposed access points.

Loading and Storage Areas: Locating, designing and screening storage areas, utilities, rooftop equipment, loading areas, and refuse and recyclables to minimize views from surrounding properties.

Staff Comment: The proposal includes one loading dock on south elevation near the southeastern portion of the site, facing the cul-de-sac and the stormwater detention pond. The site plan provides for a minimum of 100 feet (100') of clear maneuvering area in front of each loading door. Additional interior landscaping in front of the south facing portion of the generator will contribute towards minimizing the views from the public street and property to the south.

The refuse and recyclable area will be located within CMU block walls. The structure as described in detail in the previous subsection "b. Zoning Compliance and Consistency" Refuse and Recyclables.

Views: Recognizing the public benefit and desirability of maintaining visual accessibility to attractive natural features.

Staff Comment: There are no territorial views for which to maintain visual accessibility. Staff received no comments from adjacent properties regarding views.

Landscaping: Using landscaping to provide transitions between developments and surrounding properties to reduce noise and glare, maintain privacy, and generally enhance the appearance of the project.

Staff Comment: There is a note on the Binding Site Plan that reads: "The City reserves the right to require reasonable landscape enhancements along street frontages in order to establish a consistent streetscape throughout the site" (Exhibit 25). See Landscaping discussion under Findings of Fact, Site Plan Review Criteria #19.b.

Lighting: Designing and/or placing exterior lighting and glazing in order to avoid excessive brightness or glare to adjacent properties and streets. Lighting standards located so as to not interfere with parking stalls, stacking areas and ingress and egress areas.

Staff Comment: Upon project completion, it is anticipated that primary light impacts would be generated from exterior lighting associated with the newly constructed building and parking lot lights. Any lighting impacts of this nature would occur during the evening hours and during the late afternoon in the winter months. Proposed perimeter landscaping with berming along SW 27th St is anticipated to minimize glare from headlights on adjacent streets and properties. The required lighting, including LED street lighting meeting Commercial Access road lighting levels from the development, should adequately provide for public safety without casting excessive glare on adjacent properties or interfere with parking stalls, stacking areas and ingress/egress areas. No lighting plan was submitted by the applicant. Staff recommends, as a condition of approval, the applicant be required to provide a lighting plan that adequately provides for public safety without casting excessive glare on adjacent properties at the time of building permit review. Down-lighting shall be used in all cases to assure safe vehicular movement in an area where pedestrians could be walking. The lighting shall be submitted to, and approved by, the Current Planning Project Manager prior to building permit approval. Parking lot lighting fixtures are to be mounted no more than 25 feet above the ground.

f. ON-SITE IMPACTS:

Structure Placement: Provisions for privacy and noise reduction by building placement, spacing and

orientation.

Staff Comment: Existing noise within the vicinity of the subject site is primarily composed of vehicles on the abutting streets (SW 27th St and Naches Ave SW) and the rail line located immediately west of the site. It is anticipated that most of the noise impacts would occur during the construction phase of the project. The site is surrounded by commercial development; therefore, the temporary noise impacts are anticipated to be minimal and limited in duration, and are not anticipated to be more impactful than the existing rail noise.

The applicant has submitted a Construction Mitigation Plan (Exhibit 16), which provides measures to reduce construction impacts such as noise, control of dust, traffic controls, etc. Based on the provided construction mitigation description, the applicant has indicated that construction is anticipated to begin in Summer of 2015 and complete in late 2016. At this time, the applicant has indicated that construction work would occur from 6:00 am to 10:00 pm Monday through Friday and from 6:00 am to 6:00 pm on Saturday. The project would be required to comply with the City's noise ordinance regarding construction hours, which are limited to 7:00 am to 8:00 pm Monday through Friday with hauling hours from 8:30 am to 3:00 pm or as established in the approved traffic control plan. Also, no excessive levels of noise are expected to be generated during the operation of the completed project.

Due to the requirement and need for parking, it is a challenge to limit the paved and/or impervious surfaces on the site. While there is an exceptional amount of parking; the lot has been sufficiently landscaped. The applicant is also taking special measures to protect landscaping from damage by vehicles and/or pedestrian traffic by providing defined pedestrian and vehicular areas. If all conditions of approval are met, there will be adequate provisions for privacy and noise reduction by building placement and the use of landscaping.

Structure Scale: Consideration of the scale of proposed structures in relation to natural characteristics, views and vistas, site amenities, sunlight, prevailing winds, and pedestrian and vehicle needs.

Staff Comment: The proposed buildings would be located central to the site with surface parking areas located along the perimeter of the site. The larger setbacks of the building from the property line will provide for flow of sunlight, winds, vehicle and pedestrian movement through most of the site. Prevailing winds in the area are from the southwest during most of the year (fall, winter and spring) as well as the direction of sunlight. The structures would cast shade on the breezeway area and the north elevations throughout most of the day. The applicant should take measures to provide ornamental lighting within the vicinity of the entrances and along the north elevations in order to adequately illuminate the area for pedestrians and bicyclists. The required lighting plan shall address ornamental lighting.

Proposed landscaping has been strategically placed on site in order to take advantage of sun exposure from the south and west most times of the year, and would likely only be shaded at certain times of the day during the winter months.

Natural Features: Protection of the natural landscape by retaining existing vegetation and soils, using topography to reduce undue cutting and filling, and limiting impervious surfaces.

Staff Comment: There are very few natural features onsite. The site is currently undeveloped and covered with a moderate growth of brush, weeds and grass. The site can be characterized as mostly level with elevation at or near 28 feet; it slopes off towards the property lines with the largest elevation near the north property line near the retaining wall.

The applicant is proposing to strip the site of all vegetation. A single cottonwood on or near the southwest property line was identified on the landscaping plan as being retained, thus complying

with the tree retention requirements of retaining 10 percent of existing significant trees in commercial zones (Exhibits 4 & 5). Protected trees to be retained shall be fenced off around the drip line and a sign posted that the trees to be preserved and the location of the trees shall be indicated on all utility construction plan sheets. The fencing shall be in place prior to the issuance of any utility construction permits and shall remain until the final inspection of the new building is complete.

The applicant submitted a Geotechnical Report prepared by Terra Associates, Inc., dated January 26, 2015 (Exhibit 11). The report states that the subsurface conditions were explored by excavating 10 soil test pits to depths of 7 to 15.5 feet below current site grades. The soils observed at the site were identified as highly variable interbedded alluvial soils composed of silts, clays and silty sand layers with a significant amount of fines, which will be difficult to compact as structural fill when too wet. Over most of the site with the existing slope gradients, these soils will have a slight potential for erosion when exposed. Therefore, the site is considered a low erosion hazard by the report. Protection measures include perimeter silt fencing to contain erosion onsite and cover measures to prevent or reduce soil erosion during construction. The report does not address storm water infiltration, but it does estimate the total potential settlement in the range of two to three inches. Given the variability of the soils, the settlement could be differential in nature and this amount of settlement would not structurally impact the building but could result in damage of a cosmetic nature.

The geotechnical report concludes that development of the site, as proposed, is feasible from a geotechnical engineering standpoint. The primary geotechnical concern at the site is the presence of compressible soil strata susceptible to consolidation under the planned building loads. The heavier three-story building loads could be mitigated from potential settlement-related impacts by supporting the structure on piles or on spread footings, bearing on ground conditions improve by installing, rammed aggregate piers/stone columns. The lighter loaded two-story building could be supported on conventional spread footings following completion of a building fill surcharge program. If grading activities occur in the winter, import clean granular material for use as structural fill and backfill is recommended by the project engineer. Alternatively, the report recommends stabilizing the moisture in the native and existing fill soils with cement or lime.

Overall the submitted geotechnical report provides recommendations for geologic hazards, site preparation and grading, preload/surcharge, excavation, foundations, slab-on-grade construction, lateral earth pressures for wall design, drainage, utilities, and pavements. The Environmental Review Committee issued a mitigation measure that project construction be required to comply with the recommendations found in the Geotechnical Engineering Study prepared by Terra Associates, Inc. (dated January 26, 2015). Additionally, the Environmental Review Committee issued a mitigation measure that the applicant would be subject to independent secondary peer review of the submitted Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015) for the proposed surcharging to obtain the desired net allowable bearing capacity for the conventional spread footing design of the two-story building. The applicant was given the opportunity to forgo secondary review should they choose an alternate ground improvement technique, such as vibrated stone columns or aggregate rammed piers, due to the site's high seismic hazards (Exhibit 28).

Landscaping: Use of landscaping to soften the appearance of parking areas, to provide shade and privacy where needed, to define and enhance open spaces, and generally to enhance the appearance of the project. Landscaping also includes the design and protection of planting areas so that they are less susceptible to damage from vehicles or pedestrian movements.

Staff Comment: Landscaping in public spaces and within the building site are being employed to provide transitions between development and the surrounding environment as well as enhance the project's overall appearance. Proposed landscaping is analyzed under Findings of Fact, Site Plan Review Criteria #19.b.

g. ACCESS:

Location and Consolidation: Providing access points on side streets or frontage streets rather than directly onto arterial streets and consolidation of ingress and egress points on the site and, when feasible, with adjacent properties.

Staff Comment: All public access will be provided from either SW 27th St or Naches Ave SW. The applicant is proposing four (4) vehicular access points to the site from the two public streets. The site access driveway on SW 27th St is restricted to right-in, right-out only. The remaining three (3) driveways on Naches Ave SW will provide full access to all movements. Truck ingress/egress will be provided at the southernmost access at the existing cul-de-sac. The access points will only serve Longacres Business Center development.

The applicant submitted a Traffic Impact Analysis completed by TENW (dated February 4, 2015; Exhibit 14). The results of the site access operation analysis show that the movements exiting the site at all four driveways, are expected to operate at LOS A in 2017 with the proposed project and no significant adverse transportation impacts are anticipated.

The proposal promotes safe and efficient circulation to and from the 11.8-acre site at the proposed access points. The City is limiting the number of driveways to SW 27th St to a single right-in, right-out driveway due to the significant grade difference and a sag curve to the west. The limit in number and travel movements will increase vehicle and pedestrian safety by reducing the amount of pedestrian and vehicle cross-over in the sidewalk corridor at this connection point. Vehicle and pedestrian access is described in further detail in the subsections above.

Internal Circulation: Promoting safety and efficiency of the internal circulation system, including the location, design and dimensions of vehicular and pedestrian access points, drives, parking, turnarounds, walkways, bikeways, and emergency access ways.

Staff Comment: See Parking, Location and Consolidation discussions above, also see Transit and Bicycle discussion below. The site plan includes a through driveway aisle, basically around the interior perimeter of the site. Pedestrian connections from the street to the buildings will be provided if all conditions of approval are met. All public entries open to either the sidewalk realm at the front or towards a parking area and not into an internal driveway or drive aisle which promote safety and efficiency. The accessible stalls are proposed as the nearest stalls to the front entrances for easier access.

Loading and Delivery: Separating loading and delivery areas from parking and pedestrian areas.

Staff Comment: See previous Loading and Storage Areas, Location and Consolidation and Parking discussions subsections in "Off-Site Impacts" section and Transit and Bicycle discussion in "Access" subsection for more details. The loading and delivery area is located off the south portion of the warehouse of Building B and is separated from employee parking and pedestrian areas. The maneuvering space is completely off the right-of-way of any public street.

Transit and Bicycles: Providing transit, carpools and bicycle facilities and access.

Staff Comment: The applicant is vested to the 2003 Development Agreement (Exhibit 17) up to and including adopted Ordinance No. 4877. Bicycle Parking Standards were not introduced to the Renton Municipal Code until several years later. In the Parking subsection under Findings of Fact, Site Plan Review Criteria #19.b staff is recommending that the applicant add 31 bicycle parking spaces secure from theft and weather. This staff recommendation is located in the Parking subsection of the report, under the heading "b. Zoning Compliance and Consistency." Because it is unclear where the secured bicycle parking will be located within the submitted material, staff recommends that a bicycle parking

analysis and bicycle parking plan be provided as a condition of approval by the applicant.

Alternative transportation options are also available with public Tukwila Sounder Station at 7301 Longacres Way in Tukwila, approximately 1,000 aerial feet north of the site.

Pedestrians: Providing safe and attractive pedestrian connections between parking areas, buildings, public sidewalks and adjacent properties.

Staff Comment: Safe and attractive pedestrian connections are provided between parking areas, the buildings ground floor levels, public sidewalks and adjacent properties, provided all conditions of approvals are met. The Environmental Review Committee issued a mitigation measure that the applicant must provide street frontage improvements on the south side of SW 27th St (Stander Blvd) right-of-way. Street improvements include a six-foot planter strip followed by a six-foot concrete sidewalk. The street frontage right-of-way improvements begin at the southwest intersection of SW 27th St and Naches Ave SW and continue west towards Burlington Northern Railroad for a total distance of 360 feet beyond the existing intersection centerline or until the easterly limits of the existing fire hydrant located approximately 65 feet west of the proposed driveway access on SW 27th Street (Exhibit 27). Improvement towards providing safe and attractive pedestrian connections was analyzed in the Pedestrian Access subsection above, including adding two pedestrian connections from Building B to Naches Ave SW.

h. OPEN SPACE: Incorporating open spaces to serve as distinctive project focal points and to provide adequate areas for passive and active recreation by the occupants/users of the site.

Staff Comment: The primary open space on the subject site is located in the hardscape between the two structures at the center of the site. The roughly 40-foot wide space between the buildings includes landscaping and a breezeway and has the potential to serve as a distinctive focal point from within the site. Proposed and conditioned landscaping would provide passive recreation opportunities for Group Health employees.

i. VIEWS AND PUBLIC ACCESS: When possible, providing view corridors to shorelines and Mt. Rainier, and incorporating public access to shorelines.

Staff Comment: The proposed structures would not block view corridors to shorelines or Mt. Rainier. The public access requirement is not applicable as the site is not adjacent to a shoreline.

j. NATURAL SYSTEMS: Arranging project elements to protect existing natural systems where applicable.

Staff Comment: There are no natural systems located onsite with the exception of drainage flows. See Drainage discussion under Findings Section 19.k.

k. SERVICES AND INFRASTRUCTURE: Making available public services and facilities to accommodate the proposed use.

Police and Fire: Police and Fire Prevention staff indicated that sufficient resources exist to furnish services to the proposed development with 258 calls for service estimated annually by the Renton Police Department, provided the applicant provides Code required improvements and fees. Approved fire sprinkler and fire alarm systems are required throughout the building. All medical office buildings equipped with an elevator in the City of Renton are required to have at least one elevator meet the size requirements for a bariatric size stretcher. The buildings shall comply with the City of Renton Emergency Radio Coverage ordinance. Fire impact fees are applicable at the rate of \$0.14 per square foot of commercial office/laboratory space and \$0.08 per square foot of industrial/manufacturing space. This fee is paid at time of building permit issuance, and may change year to year. Contact the Renton Police Crime Prevention Representative to conduct a security survey of the premises once

construction is complete. See Exhibit 20 or 28 for additional police and fire services and infrastructure comments.

Parks and Recreation: There are no impacts to Parks. A final detailed landscaping plan shall be submitted to and approved by the Current Planning Project Manager prior to construction.

Drainage: The applicant submitted a Preliminary Drainage Report by WHPacific (dated February 2015; Exhibit 12; revised date March 24, 2015; Exhibit 23). The drainage report follows the 1990 King County Surface Water Manual. Most of the seven core requirements were briefly discussed and the twelve special requirements will need to be addressed in the final drainage report. The 11.8-acre site is located within the Black River drainage basin. Based on the City's flow control map, the site falls within the Peak Rate Flow Control Standard, Existing Conditions. The project is required to provide Level 1 downstream analysis and a Level 2 or Level 3 may subsequently be required based on the Level 1 analysis. The report and plan proposes a pipe network for conveyance of the onsite storm water from the building's footing drains, roof drains and parking lot to be conveyed to the existing pipe system in Naches Ave SW. From there the runoff is to be treated and detained in an existing storm water system called the South March Wetland "M". This facility was designed by PacLand in 2007 as part of the Naches Ave SW and Bank of America projects. The exiting site will consist of 9.93-acres of impervious area and 1.87-acres of impervious landscaping area. The downstream analysis shall include a downstream capacity analysis to determine the volume of the pond as existing, the current volume of the pond being utilized and the proposed development capacity to be added to the existing pond. Verification of the existing pipe capacities to adequately convey the additional runoff from the proposed site is also required.

The water quality and detention design requirements of the downstream storm water facility were designed to meet the 1990 King County Surface Water Design Manual (KCSWDM).

An existing conveyance system exists in Naches Ave SW that was provided when the parcels were created in order to accommodate the runoff from the project site. The conveyance system collects the stormwater runoff and directs it to the treatment facility across Naches Ave SW to the south and east of the project and eventually to the historic discharge location. The network discharges to an existing engineered settling basin (Exhibit 13). The report indicates that there are no known capacity issues with this system or no upstream surface flow onto the site. The stormwater treatment basin discharges the treated storm water into a lowland wetland south of the basin. The storm drain basin will not be changed as part of the proposed project and the report states that the drainage system treatment basin will not be reanalyzed for capacity or effectiveness. A review of the construction plan has determined that in the event that a storm creates more runoff than the system can store, a bypass system was designed to protect the system from excessive damage.

Conveyance capacity and backwater conditions of the existing and proposed systems will be analyzed and final pipe sizing will be performed with the final drainage system design (Exhibit 12). The conveyance system is designed to provide hydraulic capacity to convey peak flows for the 25 year peak flow (Exhibit 23).

The site is broken into 24 separate collection basins. The basins are grouped together into five (5) piping systems that discharge into the multiple collection locations that were extended to the property with the original construction. In addition to the 24 collection systems, there is a footing drain line that will also be piped to the disposal system.

A Construction Stormwater Permit (NPDES) from the Department of Ecology is required for sites over an acre.

Surface water system development fee rate is \$0.540 per square feet of impervious surface. The rate that is current at the time of utility permit issuance will be applicable. A Construction Storm Water

Permit (NPDES) from the Department of Ecology is required for projects with clearing and grading exceeding one acre and a Storm Water Pollution Prevention Plan (SWPPP) is also required.

Transportation: *The subject site fronts onto SW 27th St and Naches Ave SW. The applicant submitted a Traffic Impact Analysis completed by TENW (dated February 4, 2015; Exhibit 14). The memorandum included information that the proposed project is estimated to generate a total of 2,498 new weekday daily trips with 349 new trips occurring during the weekday AM peak hour (307 entering, 42 exiting), and 334 new trips occurring during the weekday PM peak hour (57 entering, 277 existing). Based on the results of a traffic operations analysis at two (2) off-site study intersections (SW 27th St and Naches Ave SW/SW 27th St and Oakesdale Ave SW), the study intersections currently operate at LOS A and B, and are expected to continue to operate at LOS A and B in 2017 without or with the proposed project. The results of the site access operation analysis show that the movements exiting the site at all four driveways are expected to operate at LOS A in 2017 with the proposed project and no significant adverse transportation impacts are anticipated with the proposed Longacres Business Center development.*

The right-of-way (ROW) width on SW 27th St is 90 feet and no additional ROW dedication is needed. A sidewalk was recently constructed on the north side of SW 27th St and it currently serves both pedestrians and bicyclists until a separated multi-use trail is constructed on the north side of SW 27th St. Street frontage improvements are required on SW 27th Street based on the Strander Blvd Typical Roadway Section (Exhibit 19) including a six-foot sidewalk and six-foot planter strip. The Environmental Review Committee issued a mitigation measure that the applicant must provide street frontage improvements on the south side of SW 27th St (Stander Blvd) right-of-way. Street improvements include a six-foot planter strip followed by a six-foot concrete sidewalk. The street frontage right-of-way improvements begin at the southwest intersection of SW 27th St and Naches Ave SW and continue west towards Burlington Northern Railroad for a total distance of 360 feet beyond the existing intersection centerline or until the easterly limits of the existing fire hydrant located approximately 65 feet west of the proposed driveway access on SW 27th Street (Exhibit 28).

Street frontage improvements are also required on Naches Ave SW based on the minimum design standards for commercial access streets per RMC 4-6-060F.2.d. They are as follows: ROW width of 60 feet, pavement width of 40 feet, sidewalks width of 5 feet (sidewalks on the property line), and street lighting. The current 1.2-acre ROW on Naches Ave SW varies in right-of-way width with a minimum ROW width of 33 feet along the frontage of Lot 31 (APN 088670-0310). No modifications were requested prior to environmental review. In a street modification request letter (dated March 25, 2015; Exhibit 24) the applicant requested a modification to RMC 4-6-060F.2.d. along Naches Ave SW frontage. In lieu of providing the code required street improvements, the applicant is proposing to construct a five-foot sidewalk and five-foot landscaping buffer from the NE corner of SW 27th Street along Naches Ave SW until the project entry.

The Transportation Department has concluded that the proposed modification of a 5-foot sidewalk and 5-foot sidewalk is sufficient between the intersection of SW 27th St and Naches Ave SW and the first project entry point. Additionally, staff is recommending that the applicant also provide a 5-foot sidewalk and 5-foot planter strip from the first driveway to the second driveway located to the southeast of Building B on Naches Ave SW (Exhibit 27). This will require additional right-of-way dedication on portion of Naches Ave SW. See Exhibit 28 for staff recommended street frontage design, measurements and specifics of the frontage improvements.

The modified right-of-way width, as described above, would meet the objective of a safe walkable environment from the buildings to SW 27th St. The proposed staff improvements would allow for a planting strip of sufficient size that would support street trees. There are no identified adverse impacts from the requested modification to provide a reduced right-of-way.

It is also anticipated that the proposed project would result in impacts to the City's street system. In order to mitigate transportation impacts, the applicant would be required to meet code-required frontage improvements, City of Renton's transportation concurrency requirements (Exhibit 26) based upon a test of the citywide Transportation Plan and pay appropriate Transportation Impact Fees. The fee, as determined by the Renton Municipal Code at the time of building permit issuance, shall be payable to the City.

Schools: *No impacts are proposed to schools.*

Water and Sewer: *The proposed development is within the City of Renton's 196 pressure zone water service area. There is an existing 12-inch water main in Naches Ave SW that ends at the cul-de-sac (refer to City project plan no. W-3399). There is also an existing 12-inch water main in SW 27th St (Strander Blvd) that ends about 350 feet west of Naches Ave SW. The static water pressure is about 70 psi at ground elevation of 25 feet.*

The maximum total flow capacity from both of the above 12-inch water mains is limited to 2,800 gallons per minute (gpm) since both water mains are fed by a single dead-end 12-inch water main in SW 27th St west of Oakesdale Ave SW. Based on submitted material, the preliminary fire flow demand for the proposed development is 5,250 gpm which is greater than the available maximum fire flow capacity of 2,800 gpm from the two existing 12-inch water mains in Naches Ave SW and in SW 27th St. Based on a hydraulic fire flow analysis an additional off-site extension of a new 12-inch water main line will be required to connect to the existing 12-inch water main in Oakesdale Ave SW in order to provide adequate fire flow. The final location of the water main extensions will be determined as part of the design of the improvements. Adequate horizontal and vertical separations between the new water main and other utilities (storm sewer, sanitary sewer, power, gas, electrical) shall be provided for the operation and maintenance of the water main. Permits shall also be obtained from Olympic Pipeline and/or King County/Metro for any work in the vicinity of their respective lines. Staff is recommending a condition of approval that the off-site 12-inch water main extension from the existing 12-inch water stub located north of the intersection of SW 27th St and Naches Ave SW and extending northerly and easterly across the adjacent properties north of SW 27th St and connecting to the existing 12-inch water line in Oakesdale Ave SW. The applicant shall obtain the required easements, minimum 15-foot wide, from adjacent property owners for the off-site water main extension. The applicant shall also obtain all required permits or authorizations from Olympic Pipeline and from King County/Metro for any work conducted within the vicinity of their respective lines.

The project is showing an onsite 12-inch diameter looped water main around the proposed buildings connecting to the existing 12-inch main in Naches Ave SW and also to an existing 12-inch water stub located at the end of the cul-de-sac along the south property line. The third proposed connection is to an existing 4-inch water service to the lift station. The looped water main around the building is required for a fire flow demand that exceeds 2,500 gpm. A 15-foot-wide utility easement shall be dedicated to the City for the onsite water main improvements.

Other required onsite water main improvements include: 1) Installation of a separate fire sprinkler stub to each building with a detector double check valve assembly (DDCVA) for backflow prevention. The DDCVA shall be installed in an outside underground vault or in the building sprinkler rooms if it meets the conditions as shown on City's standard plan for the interior installation of a DDCVA; 2) Installation of hydrants as required by Renton Fire Prevention Department; 3) Installation of a separate domestic water meter with a reduced backflow prevention assembly (RPBA) to each building. The RPBA shall be installed behind the meter and inside a heated enclosure ("hot-box") per City standard plan. Sizing of the meter shall be done in accordance with the Uniform Plumbing Code meter sizing criteria; 4) Installation of landscape irrigation meter and double check valve assembly

(DCVA).

The development is subject to City's water system development charges (SDC) and meter installation fees based on the size of the new domestic water meter(s), fire line and landscape irrigation meter that will serve the development.

Sewer service is provided by the City of Renton. There is an existing 8-inch sewer main in Naches Avenue SW. Two separate 6-inch diameter sewer stubs are shown to each of the new buildings and have the required minimum 2% slope. The site plan proposes two connections to existing sanitary sewer manholes located within Naches Ave SW. System Development Charges (SDC) for sewer is based on the size of the new domestic water meter(s) that will serve the new buildings. This is payable at the time the utility construction permit is issued.

I. PHASING: *The applicant is not requesting phasing of the Longacres Business Center on these five parcels.*

20. Whenever there is practical difficulties involved in carrying out the provisions of this Title IV, the applicant may request a modification of the standards, provided the Criteria for modification identified in RMC 4-9-250D.2 is satisfied:

MODIFICATION CRITERIA:

a. *Will meet the objectives and safety, function, appearance, environmental protection and maintainability intended by the Code requirements, based upon sound engineering judgment.*

The applicant is proposing a modification from RMC 4-6-060F.2.d, which includes a right-of-way width of 60 feet, pavement width of 40 feet, sidewalks width of 5 feet (sidewalks on the property line), and LED street lighting. The current 1.2-acre ROW on Naches Ave SW varies in right-of-way width with a minimum ROW width of 33 feet along portions of the road. In a street modification request letter (dated March 25, 2015; *Exhibit 24*) the applicant requested a modification to the required frontage improvements along Naches Ave SW. Specifically, the applicant is proposing to construct a five-foot sidewalk and five-foot landscaping buffer from the NE corner of SW 27th Street along Naches Ave SW until the project entry.

The applicant contends that this will encourage/create a safe and aesthetically pleasing pedestrian access/activity to Longacres Business Center's main entrance as well as discourage pedestrian traffic at the secondary, or truck loading entrance.

The Boeing Longacres Property Second Amended Binding Site Plan states that "the development of the lots created herein shall provide suitable vehicular and pedestrian connections to public rights-of-way with the development of the site as follows: Pedestrian connections shall be provided from building entrances within each individual parcel to a public right-of-way." Therefore, staff is supportive of the applicant's street modification request, in part, for a 5-foot sidewalk between the intersection of SW 27th St and Naches Ave SW and the first project entry point. This will limit the right-of-way dedication along this portion of Naches Ave SW to only 5 feet, for a distance of approximately 365 feet. This modification request will serve to maintain a larger onsite landscaped buffer that is generally consistent with the landscape pattern used on SW 27th St between the 6-foot sidewalk and the proposed row of compact parking stalls along the north property frontage. Staff is also recommending a continuation of the 5 foot sidewalk between the first and second projects entry points on Naches Ave SW. The frontage design should include a 5-foot planter strip at the back of the existing pavement (behind a 6" vertical curb) from the first driveway to the second driveway located to the southeast of Building B on Naches Ave SW (*Exhibit 27*). This extension would allow truck drivers and workers in the southeast portion of

Building B a safe pedestrian connection to cross the parking area and access the public right-of-way sidewalk along Naches Avenue SW. This will also require additional right-of-way dedication of up to 10'-6" along 495 feet of Naches Ave SW frontage, as shown in Exhibit 28. The staff recommended modification would meet the objective of a safe walkable environment from the buildings to SW 27th St. The proposed staff improvements would allow for a planting strip of sufficient size that would support street trees and preserve public landscaping potential in the public right-of-way. There are no identified adverse impacts from the requested modification to provide a reduced right-of-way width less than 60 feet wide. Finally, staff is also recommending a 6" vertical curb between the second entrance point on Naches Ave SW to the third entry point within the cul-de-sac. The curb will create a barrier between the traffic and the required onsite landscaping.

b. Will not be injurious to other property(s) in the vicinity.

Naches Ave SW is a dead end street that ends in a cul-de-sac. The identified critical areas to the south and the lack of public demand and pedestrian movements support a modification from the required road standards. A reduction to the road standards will not be injurious to other properties in the vicinity.

c. Conform to the intent and purpose of the Code

The intent of the code is to require new construction to dedicate and complete half-street frontage improvements. The applicant has indicated the need to adequately provide safe pedestrian movements from the building entrances to the intersection of Naches Ave SW and SW 27th St. With the identified improvements the intent and purpose of the Code are achieved.

d. Can be shown to be justified and required for the use and situation intended; and

Naches Ave SW includes a 5-foot wide sidewalk on east side of the road and a minimum 22.5-foot paved roadway. If all conditions of approval are met, there are ample pedestrian and vehicular accommodations to support safe and efficient access and circulation for all users and uses in the area.

e. Will not create adverse impacts to other property(ies) in the vicinity.

A reduction in the size of the road standards will not create adverse impacts to other properties in the vicinity provided if all conditions of approval are met.

I. CONCLUSIONS:

1. The proposal complies with the Site Plan Review Criteria if all conditions of approval are met.
2. The proposal is compliant and consistent with City of Renton plans, policies, regulations and approvals, as vested via Exhibit 17, 18, and 25.
3. Staff does not anticipate any adverse impacts on surrounding properties and uses as long as the conditions of approval are complied with.
4. The proposed Site Plan is anticipated to be compatible with existing and future surrounding uses as permitted in the CO zoning classification.
5. The scale, height and bulk of the proposed buildings are appropriate for the site.
6. Safe and efficient access and circulation can be provided for all users.
7. There are adequate public services and facilities to accommodate the proposed use.
8. The proposed location is suited for the proposed office use.
9. Adequate parking for the proposed use can be provided.

10. The proposed use would not result in a substantial or undue adverse effect on adjacent properties.
11. The proposed development would not generate any long term harmful or unhealthy conditions. Potential noise, light and glare impacts from the proposed use have been evaluated and mitigated if all conditions of approval are complied with.
12. Adequate onsite landscaping is provided in all areas not occupied by buildings, refuse and recycling or paving.
13. The proposal satisfies 5 of the 5 criteria listed in RMC 4-9-250D.2 for approval of modifications as the conditions of approval are complied with.

J. RECOMMENDATIONS:

Staff recommends approval of the Site Plan and Street Modification for Longacres Business Center, File No. LUA15-000076, ECF, SA-H, MOD as depicted in the Exhibits, subject to the following conditions:

1. The applicant shall comply with the four mitigation measures issued as part of the Determination of Nonsignificance-Mitigated (DNS-M), published March 27, 2015.
2. The applicant shall be required to submit a detailed landscape plan that complies with RMC 4-8-120 to the Current Planning Project Manager prior to construction permit approval. The revised landscape plan shall include, but is not limited to, the following:
 - a. Add a minimum 10-foot wide landscape strip along the south side of the proposed generator. The landscape strip shall include a mixture of trees, plants and shrubs.
 - b. Add a minimum 5-foot wide landscape strip, at the back of the existing curb and/or behind a required 6" vertical curb, between the first and second project entry points on the west side of Naches Ave SW.
3. The applicant shall be required to add 31 bicycle parking spaces onsite. Bicycle parking shall be provided for secure extended use and shall protect the entire bicycle and its components and accessories from theft and weather. Acceptable examples include bike lockers, bike check-in systems, in-building parking, and limited access fenced areas with weather protection. A final bicycle parking analysis and bicycle parking plan shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval.
4. The applicant shall be required to submit a revised site plan to the Current Planning Project Manager prior to construction permit approval. The revised site plan shall depict the following:
 - a. Add one (1) additional pedestrian sidewalk connection on the south end of Building B from the proposed 6' sidewalk, along the east side of Building B, to the staff proposed 5' wide sidewalk on Naches Ave SW. This sidewalk connection shall be a minimum of 5' wide.
 - b. Add a new 6" vertical curb (or if possible reuse existing) and a new 5' wide sidewalk between the intersection of SW 27th St and Naches Ave SW up to the south end of the first project entry point on Naches Ave SW (approximately 365 feet). Approximately 5'-6" of right-of-way dedication along this stretch of Naches Ave SW will be required.
 - c. Add a 5-foot sidewalk between the first and second project entry points on Naches Ave SW. The sidewalk shall be placed behind a minimum 5-foot wide landscape strip. Approximately 10'-6" of right-of-way along Naches Ave SW will be required.
 - d. Add a 6" vertical curb between the second and third project entry points on Naches Ave SW. Approximately 6" of right-of-way dedication along the west part of Naches Ave SW will be required.

5. The applicant shall provide architectural details for the refuse and recyclable deposit areas that are consistent with the design of the primary structures. The deposit areas for Building A shall be modified in size in order to meet the minimum area requirements of the use. Building A shall have a recyclable deposit area that has a minimum area of 294 square feet and a refuse deposit area with a minimum area of 588 square feet. A revised trash enclosure detail(s), meeting the minimum size requirements and design details for each refuse and recycling area, shall be submitted to and approved by the Current Planning Project Manager prior to building permit approval.
6. The applicant shall provide an off-site 12-inch water main extension from the existing 12-inch water stub located north of the intersection of SW 27th St and Naches Ave SW and extending northerly and easterly across the adjacent properties north of SW 27th St and connecting to the existing 12-inch water line in Oakesdale Ave SW. The applicant shall obtain the required easements, minimum 15' wide, from adjacent property owners for the off-site water main extension. The applicant shall also obtain all required permits or authorizations from Olympic Pipeline and from King County/Metro for any work conducted within the vicinity of their respective lines.
7. The applicant shall be required to submit a conceptual sign package which indicates the approximate location and size of all exterior building signage. Proposed signage shall be compatible with the building's architecture and exterior finishes. The conceptual sign package shall be submitted to, and approved by, the Current Planning Project Manager prior to building permit approval.
8. The applicant shall provide a lighting plan which will adequately provide for public safety without casting excessive glare on adjacent properties at the time of building permit. The plan shall indicate the location of exterior/ornamental lighting to be attached to the building, and any surface parking lighting, including specifications of the light fixtures. The lighting plan shall be submitted to, and approved by, the Current Planning Project Manager prior to building permit approval.
9. The applicant shall provide a cross access agreement and/or a shared parking agreement if the development is divided into two or more separate lots.

EXPIRATION PERIODS:

Site Plan Approval expires two (2) years from the date of approval. An extension may be requested pursuant to RMC section 4-9-200.



EXHIBITS

Project Name: Longacres Business Center		Project Number: LUA15-000076, ECF, SA-H	
Date of Hearing 4/14/2015	Staff Contact Clark H. Close Associate Planner	Project Contact/Applicant Dave Williams Ryan Companies US, Inc.	Project Location SW Corner of SW 27th St & Naches Ave SW

The following exhibits were entered into the record:

- Exhibit 1: ERC Report
- Exhibit 2: Neighborhood Detail Map
- Exhibit 3: Site Plan
- Exhibit 4: Existing Conditions
- Exhibit 5: Conceptual Landscape Plan
- Exhibit 6: Architectural Elevations and Renderings
- Exhibit 7: Floor Plans (AA2.1, AA2.2, AB2.1, AB2.2, and AA2.3)
- Exhibit 8: 1995 Effective FEMA Flood Insurance Rate Map
- Exhibit 9: General Utility Plan
- Exhibit 10: Grading Plan
- Exhibit 11: Geotechnical Study by Terra Associates, Inc. (dated January 26, 2015)
- Exhibit 12: Preliminary Drainage Report by WHPacific (prepared July 7, 2014; dated February 2015)
- Exhibit 13: Storm Drain Plan
- Exhibit 14: Traffic Impact Analysis by Transportation Engineering NorthWest (dated February 4, 2015)
- Exhibit 15: Confirmation of Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015)
- Exhibit 16: Construction Mitigation Description
- Exhibit 17: Development Agreement (Recording no. 20030221002405)
- Exhibit 18: Strander Agreement (Recording no. 20060420001032)
- Exhibit 19: Strander Boulevard Typical Roadway Section
- Exhibit 20: Advisory Notes to Applicant
- Exhibit 21: Report to Hearing Examiner
- Exhibit 22: Notice of Application (dated February 17, 2015)
- Exhibit 23: Preliminary Drainage Report by WHPacific (revised date March 24, 2015)
- Exhibit 24: Request for Street Modification Improvements on Naches Ave NW (dated March 25, 2015)
- Exhibit 25: Boeing Longacres Property Second Amended Binding Site Plan (Rec. No. 20050504000673)
- Exhibit 26: Traffic Concurrency Test for Longacres Business Center: Lee
- Exhibit 27: Street Modification Memo: Lee
- Exhibit 28: Staff recommended street frontage design site plan
- Exhibit 29: Environmental "SEPA" Determination, ERC Mitigation Measures and Advisory Notes
- Exhibit 30: Notice of Environmental Determination and Public Hearing
- Exhibit 31: Affidavit of Posting and Mailing

ENVIRONMENTAL REVIEW COMMITTEE REPORT

ERC MEETING DATE: March 23, 2015

Project Name: Longacres Business Center

Project Number: LUA15-000076, ECF, SA-H

Project Manager: Clark H. Close, Associate Planner

Owner: Longacres Renton, LLC / 3900 E. Camelback Road, Suite 100 /
Phoenix, AZ 85018

Applicant: Molly Carson, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 /
Phoenix, AZ 85018

Contact: Dave Williams, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 /
Phoenix, AZ 85018

Project Location: SW Corner of SW 27th St and Naches Ave SW (Approximately at 2715 Naches Ave SW)

Project Summary: The applicant is requesting Hearing Examiner Site Plan Review and SEPA Environmental Review for two (2) standalone buildings totaling 250,825 square feet (SF). The vacant 11.8 acre site is located at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. Site access will be served from SW 27th St and Naches Ave SW. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and east of the project.

Site Area: ±513,888 square feet (±11.8 acres)

STAFF RECOMMENDATION: Staff Recommends that the Environmental Review Committee issue a Determination of Non-Significance - Mitigated (DNS-M).



Project Location Map

EXHIBIT 1

PART ONE: PROJECT DESCRIPTION / BACKGROUND

The applicant is requesting Hearing Examiner Site Plan Review and Environmental (SEPA) Review for the construction of a three-story general office building (Building A) totaling 146,910 SF and a two-story general office, laboratory, warehouse building (Building B) totaling 103,915 SF along with surface parking and associated infrastructure. Building A measures roughly 127 feet wide by 405 feet long (first floor area of 48,832 SF) and building B measures roughly 175 feet wide by 370 feet long (first floor area of 61,868 SF) (*Exhibits 3 & 7*). Together the two structures have a combined total area of approximately 250,825 SF and the building materials include using precast concrete wall panels with interior columns supporting upper level floors and a roof structure. Additionally, there would be a stand-alone outdoor covered canopy structure that would link the two buildings. The subject property is situated in the Northeast $\frac{1}{4}$ of Section 25, Township 23 North, Range 04 East, W.M. (King County Parcel Numbers 088670-0270, -0280, -0290, -0300, and -0310) on the south side of SW 27th St, west of Naches Ave SW (*Exhibit 2*).

The subject property is considered to be part of Phase IV of the Longacres Office Park ("LOP") and is subject to the 2003 Development Agreement (*Exhibit 17*) and a 2006 Strander Agreement (*Exhibit 18*). The parcels are located within Phase IV of LOP and the development agreement is in effect until February 21, 2023. According to the development agreement, development regulations include (a) zoning, land division, and development standards; (b) environmental rules and policies, including (but not limited to) SEPA; (c) Comprehensive Plan policies; (d) policies, regulations, standards, and methods applicable to the development of land that are incorporated by reference in the Renton Municipal Code; (e) surface water management regulations; and (f) other City ordinances governing the development of land up to and including adopted Ordinance No. 4877. Environmental analysis of development of 2.5 million square feet under the LOP Site Plan was conducted by the City of Renton pursuant to the Washington State Environmental Policy Act ("SEPA"). A Draft Environmental Impact Statement ("DEIS") for the LOP Site was issued in August, 1994; the Final Environmental Impact Statement ("FEIS") was issued in March, 1995. Phase IV was proposed to consist of development of office or light industrial space as permitted under the Employment Area Valley (EAV) land use designation and Commercial Office (CO) zoning, with support and utility facilities. Phase IV will be developed with multiple buildings and associated parking, roadways, and pedestrian walkways.

The adjacent Renton parcels are zoned CO to the north, east and south with Resource Conservation (RC) to the west. The property is bordered on the west by Burlington Northern Railroad, to the south by Bank of America Operations Center, to the east by the Federal Reserve Bank, and to the north by additional undeveloped commercial properties.

The site is currently undeveloped and covered with a moderate growth of brush, weeds and grass. A few small trees exist along the north and south ends of the site. There are no existing buildings on the site. The existing topography is generally flat with slight slope changes in elevations dropping as you move towards the property lines. The property is approximately 25 to 30 feet in elevation. There is a drop off in the northeast corner of the site and along the northern property line with grade drops approximately 4 feet in height near the existing asphalt road and retaining wall (*Exhibit 4*). The site was graded in 2007/2008 when the detention pond to the south and roadway to the east were constructed. At that time, approximately five (5) feet of fill was placed on the northern portion of the site. Also, a large stockpile of material was removed and the material was placed around the site.

A Confirmation of Environmental Setting Report, prepared by Terracon Consultants, Inc. on February 5, 2015, did not identify a wetland area, flood zones, streams, lakes, or critical habitats on or adjacent to the property based on a review of third party work and online resources. The project site is located more than 700 feet from Green River to the west and more than 2,300 feet to Springbrook Creek to the east. The site contains High Seismic Hazards.

The proposal includes 790 surface parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. Site access includes vehicular access to the site from four (4) separate access driveways from both SW 27th St and Naches Ave SW. The site access driveway on SW 27th St is restricted to right-in, right-out only. The remaining three (3) driveways on Naches Ave SW will provide full access to all movements. Truck ingress/egress will be provided at the southernmost access at the existing cul-de-sac.

Naches Ave SW was constructed with the bank properties and a Storm Drainage system was installed at that time. The drainage system consists of a pipe network located in Naches Ave SW with service stubs to the parcels in the development. This network discharges to a settling basin near the southeast corner of our project that discharges the treated storm water into a lowland wetland south of the basin.

There are a total of nine (9) significant trees onsite. The applicant is not proposing to retain any of the trees. The existing trees will be cut and replaced with 229 new deciduous and evergreen trees along the public street frontage and within the interior of the site. Construction is anticipated to be completed and occupied by late 2016.

The applicant has submitted a Drainage Report, Traffic Impact Analysis, Confirmation of Environmental Setting Report, and a Geotechnical Engineering Report with the subject application. Staff received no comments from the public, Muckleshoot Indian Tribe Fisheries Division, or any other agency.

PART TWO: ENVIRONMENTAL REVIEW

In compliance with RCW 43.21C.240, the following environmental (SEPA) review addresses only those project impacts that are not adequately addressed under existing development standards and environmental regulations.

A. Environmental Threshold Recommendation

Based on analysis of probable impacts from the proposal, staff recommends that the Responsible Officials:

Issue a DNS-M with a 14-day Appeal Period.

B. Mitigation Measures

1. Project construction shall be required to comply with the recommendations found in the Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015).
2. The applicant shall provide street frontage improvements on the south side of SW 27th Street (Stander Blvd) right-of-way. Street improvements shall include a six-foot planter strip followed by a six-foot concrete sidewalk. The street frontage right-of-way improvements shall begin at the southwest intersection of SW 27th Street and Naches Ave SW and continue west towards Burlington Northern Railroad for a total distance of 360 feet beyond the existing intersection centerline or until the easterly limits of the existing fire hydrant located approximately 65 feet west of the proposed driveway access on SW 27th Street.
3. The applicant shall provide a minimum 30-foot wide landscaped buffer with a berm along SW 27th Street. The 30-foot landscape berm shall begin measuring from behind the required six-foot sidewalk. The width of the buffer may be reduced to no less than 15 feet near the existing retaining wall at the northwest property line.
4. The applicant shall be subject to independent secondary peer review of the submitted Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015) for the proposed surcharging to obtain the desired net allowable bearing capacity for the conventional spread footing design of the two-story building. The secondary review shall be at the expense of the applicant. The applicant may forgo secondary review should they choose an alternate ground improvement technique, such as vibrated stone columns or aggregate rammed piers, due to the site's high seismic hazards.

C. Exhibits

- Exhibit 1 ERC Report
- Exhibit 2 Neighborhood Detail Map
- Exhibit 3 Site Plan
- Exhibit 4 Existing Conditions
- Exhibit 5 Conceptual Landscape Plan
- Exhibit 6 Architectural Elevations and Renderings
- Exhibit 7 Floor Plans (AA2.1, AA2.2, AB2.1, AB2.2, and AA2.3)
- Exhibit 8 1995 Effective FEMA Flood Insurance Rate Map
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- Exhibit 15 Confirmation of Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015)
- Exhibit 16 Construction Mitigation Description
- Exhibit 17 Development Agreement (Recording no. 20030221002405)
- Exhibit 18 Strander Agreement (Recording no. 20060420001032)
- Exhibit 19 Strander Boulevard Typical Roadway Section
- Exhibit 20 Advisory Notes to Applicant

D. Environmental Impacts

The Proposal was circulated and reviewed by various City Departments and Divisions to determine whether the applicant has adequately identified and addressed environmental impacts anticipated to occur in conjunction with the proposed development. Staff reviewers have identified that the proposal is likely to have the following probable impacts:

1. Earth

Impacts: The site is currently undeveloped and covered with a moderate growth of brush, weeds and grass. The site can be characterized as mostly level with elevation at or near 28 feet; it slopes off towards the property lines with the largest elevation near the north property line near the retaining wall.

The soils onsite generally consist of one to three inches of topsoil overlying three to nine feet of medium dense to dense inorganic fill material overlying alluvial silts and sands. Alluvial soils composed of silts, clays and silty sand layers are present to a depth of 20 to 28 feet followed by dense to very dense silty sand and sand to the termination depths of 50 feet. The soils observed onsite are classified as Newberg Silt Loam, Woodinville Silt Loam, and Puget Silty Clay Loam by the US Dept. of Agriculture Natural Resources Conservation Service (NRCS). Because there are no slopes that are greater than 15%, the site is a low landslide hazard and a low erosion hazard. Approximately 21% of the site is proposed to be covered with buildings, roughly 62% with parking and hardscape and 17% towards landscaping following construction.

The applicant submitted a Geotechnical Report prepared by Terra Associates, Inc., dated January 26, 2015 (*Exhibit 11*). The report states that the subsurface conditions were explored by excavating 10 soil test pits to depths of 7 to 15.5 feet below current site grades. The soils observed at the site contain a significant amount of fines which will be difficult to compact as structural fill when too wet. Over most of the site with the existing slope gradients, these soils will have a slight potential for erosion when exposed. Therefore, the site

is considered a low erosion hazard by the report. Protection measures include perimeter silt fencing to contain erosion onsite and cover measures to prevent or reduce soil erosion during construction. The report estimates the total potential settlement in the range of two to three inches. Given the variability of the soils the settlement could be differential in nature and this amount of settlement would not structurally impact the building but could result in damage of a cosmetic nature.

The geotechnical report concludes that development of the site as proposed is feasible from a geotechnical engineering standpoint. The primary geotechnical concern at the site is the presence of compressible soil strata susceptible to consolidation under the planned building loads. The heavier three-story building loads could be mitigated from potential settlement-related impacts by supporting the structure on piles or on spread footings, bearing on ground conditions improve by installing, rammed aggregate piers/stone columns. The lighter loaded two-story building could be supported on conventional spread footings following completion of a building fill surcharge program. If grading activities occur in the winter, import clean granular material for use as structural fill and backfill is recommended by the project engineer. Alternatively, the report recommends stabilizing the moisture in the native and existing fill soils with cement or lime.

Overall the submitted geotechnical report provides recommendations for geologic hazards, site preparation and grading, preload/surcharge, excavation, foundations, slab-on-grade construction, lateral earth pressures for wall design, drainage, utilities, and pavements. Staff recommends as a SEPA mitigation measure that project construction be required to comply with the recommendations found in the Geotechnical Engineering Study prepared by Terra Associates, Inc. (dated January 26, 2015). Additionally, the applicant shall be subject to independent secondary peer review of the submitted Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015) for the proposed surcharging to obtain the desired net allowable bearing capacity for the conventional spread footing design of the two-story building. The applicant may forgo secondary review should they choose an alternate ground improvement technique, such as vibrated stone columns or aggregate rammed piers, due to the site's high seismic hazards.

The applicant will be required to design a Temporary Erosion and Sedimentation Control Plan (TESCP).

Mitigation Measures:

1. Project construction shall be required to comply with the recommendations found in the Geotechnical Engineering Study prepared by Terra Associates, Inc. (dated January 26, 2015; *Exhibit 11*).
2. The applicant shall be subject to independent secondary peer review of the submitted Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015) for the proposed surcharging to obtain the desired net allowable bearing capacity for the conventional spread footing design of the two-story building. The secondary review shall be at the expense of the applicant. The applicant may forgo secondary review should they choose an alternate ground improvement technique, such as vibrated stone columns or aggregate rammed piers, due to the site's high seismic hazards.

Nexus: State Environmental Policy Act (SEPA) Environmental Review, RMC 4-3-050 Critical Areas Regulations, and RMC 4-4-060 Grading, Excavation, and Mining Regulations.

2. Water

a. Wetland, Streams, Lakes

Impacts: A Confirmation of Environmental Setting Report, prepared by Terracon Consultants, Inc. (dated February 5, 2015; *Exhibit 15*) was submitted with the project application materials. Information reviewed by Terracon was limited to available online resources and/or prior reports. The National Wetland Inventory (NWI) map did not identify a wetland area on or adjacent to the property. A wetland area was identified approximately 250 feet south-southeast of the property. A report entitled "Longacres Office Park, Surface Water Management Project, Conceptual Wetland Mitigation Plan" prepared by Shapiro and Associates, Inc.

(dated August 1998) was prepared for a 164-acre parcel which included the subject property. According to the report, the site does not contain a wetland area. Terracon did not field verify the Shapiro Report findings and only provided a review of the third party work. In summary, the Terracon report indicates that there are no wetlands, flood zones, streams, lakes, or critical habitats on or adjacent to the property based on a review of third party work and online resources.

Mitigation Measures: No further mitigation required.

Nexus: Not Applicable

b. Ground Water

Impacts: Groundwater was observed at a depth of two to fifteen feet during cone penetration tests (CPT), indicating groundwater within 12 feet of the current surface. The shallow groundwater observed between two and four feet appears to be perched groundwater within the existing fill stratum. The deeper groundwater at 15 feet is likely more representative of the groundwater table associated with the site. Dissipation testing indicates that the static groundwater table was at a depth of about 12 feet. Previous studies indicate the groundwater is within seven feet of the surface. Based on the soil and groundwater conditions of the site the property would be mapped as a High Seismic Hazard (SH).

The geotechnical report states that if wet soils are encountered they will need to be dried by aeration during dry weather conditions. Otherwise the contractor should import a granular soil that can be used as structural fill. The moisture content of the soil at the time of compaction should be within 2% of its optimum, as determined by the American Society for Testing and Materials (ASTM) Test Designation D-698.

Mitigation Measures: No further mitigation required.

Nexus: Not Applicable

c. Stormwater

Impacts: The applicant submitted a Preliminary Drainage Report by WHPacific that was prepared July 7, 2014 (dated February 2015; *Exhibit 12*). The drainage report follows the 1990 King County Surface Water Manual. The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and east of the project. The drainage system consists of a pipe network located in Naches Ave SW with service stubs to the parcels in the development. The network discharges to an existing engineered settling basin (*Exhibit 13*). The report indicates that there are no known capacity issues with this system. The stormwater treatment basin discharges the treated storm water into a lowland wetland south of the basin. The storm drain basin will not be changed as part of the proposed project.

Conveyance capacity and backwater conditions of the existing and proposed systems will be analyzed and final pipe sizing will be performed with the final drainage system design (*Exhibit 12*). The conveyance system is proposed to be sized to convey a 10-year storm event. Preliminary results show the following: 1) an 18-inch storm drain may be required to connect the discharge from the west parking lot to the Naches Ave SW trunk line; 2) 15-inch storm drain pipes to connect the discharge from the north parking lot and the south building roof drain line to the Naches Ave SW trunk line; and 3) connections to the system within Naches Ave SW are primarily 12-inch pipes.

The site is broken into 24 separate collection basins. The basins are grouped together into five (5) piping systems that discharge into the multiple collection locations that were extended to the property with the original construction. In addition to the 24 collection systems, there is a footing drain line that will also be piped to the disposal system.

A Construction Stormwater Permit (NPDES) from the Department of Ecology is required for sites over an acre.

Mitigation Measures: No further mitigation required.

Nexus: Not Applicable

3. Vegetation

Impacts: The property is covered by ground cover, including 95% grass/pasture and 5% low growing vegetation. There are also nine (9) "volunteer" trees growing on the site. The existing conditions map shows four (4) deciduous trees near the northwest property line, and four (4) cottonwood trees and one (1) poplar clump on or near the southwest property corner. The applicant is proposing to strip the site of all vegetation. A single cottonwood on or near the southwest property line was identified on the landscaping plan as being retained, thus complying with the tree retention requirements of retaining 10 percent of existing significant trees in commercial zones (*Exhibits 4 & 5*). The applicant is proposing to replant the site with 38 deciduous street trees (shademaster thornless honeylocust, English oak, and greenspire Linden), 120 onsite drought resistant deciduous trees (vine maple, luster serviceberry, red alder, hackberry, dogwood, Oregon white oak, Japanese zelkova), and 71 onsite drought resistant evergreen trees (marina madrone, incense cedar, shore pine, and Douglas fir). The applicant is also proposing to plant 1,652 shrubs and 5,137 ground cover plants throughout the site (*Exhibit 5*). As proposed, the landscaping plan does not meet minimum tree spacing requirements of the RMC. A final detailed landscape plans must be submitted and approved prior to issuance of the street and utility construction permits, this will become a recommended condition of approval during Hearing Examiner site plan review.

In order to create a meaningful landscape buffer between SW 27th Street and the proposed 790 surface parking lot, staff recommends as a SEPA mitigation measure that the applicant construct a 30-foot landscaped buffer with berm along SW 27th Street from the back of property line. The width of the buffer may be reduced to no less than 15 feet near the existing retaining wall at the northwest property line.

Mitigation Measures: The applicant shall provide a minimum 30-foot wide landscaped buffer with a berm along SW 27th Street. The 30-foot landscape berm shall begin measuring from behind the required six-foot sidewalk. The width of the buffer may be reduced to no less than 15 feet near the existing retaining wall at the northwest property line.

Nexus: Not applicable

4. Noise

Impacts: Existing noise within the vicinity of the subject site is primarily composed of trains and vehicles from SW 27th St to either the Sounder, the Tukwila Sounder Station at 7301 Longacres Way in Tukwila, the Federal Reserve Bank at 2700 Naches Ave SW, or the Bank of America Operations Center at 2985 Naches Ave SW. Temporary construction noise is anticipated as a result of the subject project. Based on the provided construction mitigation description, the applicant has indicated that construction is anticipated to begin in May 2015 with a completion date of December 2016. At this time, the applicant has indicated that construction work would occur from 6:00 a.m. to 10:00 p.m. on Monday through Friday and from 6:00 a.m. to 6:00 p.m. on Saturday (*Exhibit 16*) which is outside the City of Renton permitted construction hours of 7:00 a.m. to 8:00 p.m. on Monday through Friday and Saturday by permission only. Final construction hours will be determined by the City at the preconstruction meeting. The site is surrounded by commercial development. No excessive levels of noise are expected to be generated during the operation of the completed project.

Mitigation Measures: No further mitigation required.

Nexus: Not Applicable

5. Transportation

Impacts: The subject site fronts onto SW 27th St and Naches Ave SW. The applicant submitted a Traffic Impact Analysis completed by TENW (dated February 4, 2015; *Exhibit 14*). The memorandum included

information that the proposed project is estimated to generate a total of 2,498 new weekday daily trips with 349 new trips occurring during the weekday AM peak hour (307 entering, 42 exiting), and 334 new trips occurring during the weekday PM peak hour (57 entering, 277 exiting). Based on the results of a traffic operations analysis at two (2) off-site study intersections (SW 27th St and Naches Ave SW/SW 27th St and Oakesdale Ave SW), the study intersections currently operate at LOS A and B, and are expected to continue to operate at LOS A and B in 2017 without or with the proposed project. The results of the site access operation analysis show that the movements exiting the site at all four driveways are expected to operate at LOS A in 2017 with the proposed project and no significant adverse transportation impacts are anticipated with the proposed Longacres Business Center development.

The right-of-way (ROW) width on SW 27th St is 90 feet and no additional ROW dedication is needed. A sidewalk was recently constructed on the north side of SW 27th St and it currently serves both pedestrians and bicyclists until a separated multi-use trail is constructed on the north side of SW 27th St. Street frontage improvements are required on SW 27th Street based on the Stander Blvd Typical Roadway Section (*Exhibit 19*) including a six-foot sidewalk and six-foot planter strip. Staff recommends as a SEPA mitigation measure that the project provide the improvements identified in the Stander Blvd Typical Roadway Section by constructing a six-foot sidewalk and six-foot planter strip for a total distance of 360 feet beyond the existing intersection centerline along SW 27th Street (*Exhibit 19*).

Street frontage improvements are also required on Naches Ave SW based on the minimum design standards for commercial access streets per RMC 4-6-060F.2.d. They are as follows: ROW width of 60 feet, pavement width of 40 feet, sidewalks width of 5 feet (sidewalks on the property line), and street lighting. The current 1.2-acre ROW on Naches Ave SW varies in right-of-way width with a minimum ROW width of 33 feet along the frontage of Lot 31 (APN 088670-0310).

No modifications were requested as part of the original application. Any future proposed modifications must be requested in writing and must include written justification. For a modification to be granted, the project must also comply with the decision and design criteria stipulated in RMC 4-9-250D.2. Staff would also consider a fee-in-lieu to have the frontage improvements completed by the City of Renton at a later date. Without a modification request or fee-in-lieu request, the applicant will be required to comply with the identified street frontage requirement of the code.

It is not anticipated that the proposed project significantly adversely impacts the City of Renton's street system, subject to the payment of code-required impact fees and the construction of code-required frontage improvements (*Exhibit 20*). The fee, as determined by the Renton Municipal Code at the time of building permit issuance shall be payable to the City.

A concurrency recommendation will be provided in the staff report to Hearing Examiner based upon the test of the citywide Transportation Plan, consideration of growth levels included in the LOS-tested Transportation Plan, payment of a Transportation Mitigation Fee, and an application of site specific mitigation. The development will have to meet the City of Renton concurrency requirements.

Mitigation Measures: The applicant shall provide street frontage improvements on the south side of SW 27th Street (Stander Blvd) right-of-way. Street improvements shall include a six-foot planter strip followed by a six-foot concrete sidewalk. The street frontage right-of-way improvements shall begin at the southwest intersection of SW 27th Street and Naches Ave SW and continue west towards Burlington Northern Railroad for a total distance of 360 feet beyond the existing intersection centerline or until the easterly limits of the existing fire hydrant located approximately 65 feet west of the proposed driveway access on SW 27th Street.

Nexus: Not applicable

6. Fire & Police

Impacts: Due to existing dead end mains feeding this area, it appears adequate fire flow is not available in this area. Further-off site water main loops are required to provide adequate fire flow. The location of the

required new 12-inch water main connection to the City's water main in Oakesdale Ave SW will not be allowed within SW 27th Street. An alternate location will be required prior to land use approval.

Police and Fire Prevention staff indicated that sufficient resources exist to furnish services to the proposed development with 258 calls for service estimated annually by the Renton Police Department. The development is subject to the construction of code-required improvements and the payment of code-required impact fees (*Exhibit 20*).

Mitigation Measures: No further mitigation required.

Nexus: Not applicable

E. Comments of Reviewing Departments

The proposal has been circulated to City Department and Division Reviewers. Where applicable, their comments have been incorporated into the text of this report and/or listed under *Exhibit 20* "Advisory Notes to Applicant."

✓ **Copies of all Review Comments are contained in the Official File and may be attached to this report.**

The Environmental Determination decision will become final if the decision is not appealed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680).

Environmental Determination Appeal Process: Appeals of the environmental determination must be filed in writing together with the required fee to: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057, on or before 5:00 p.m. on April 10, 2015. RMC 4-8-110 governs appeals to the Hearing Examiner and additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall – 7th Floor, (425) 430-6510.

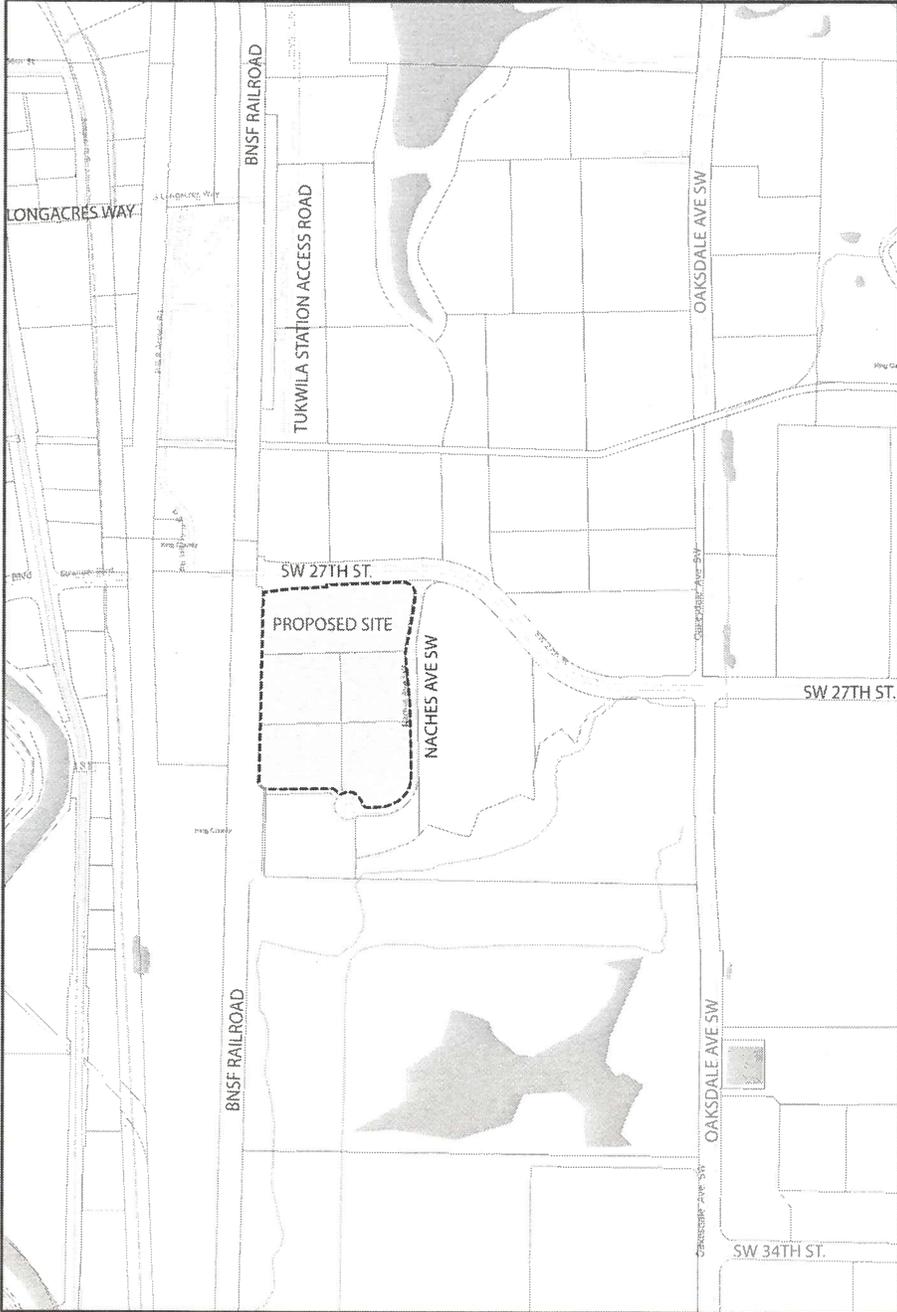


EXHIBITS

Project Name: Longacres Business Center		Project Number: LUA15-000076, ECF, SA-H	
Date of Decision 3/23/15	Staff Contact Clark H. Close Associate Planner	Project Contact/Applicant Dave Williams Ryan Companies US, Inc.	Project Location SW Corner of SW 27th St & Naches Ave SW

The following exhibits were entered into the record:

- Exhibit 1 ERC Report
- Exhibit 2 Neighborhood Detail Map
- Exhibit 3 Site Plan
- Exhibit 4 Existing Conditions
- Exhibit 5 Conceptual Landscape Plan
- Exhibit 6 Architectural Elevations and Renderings
- Exhibit 7 Floor Plans (AA2.1, AA2.2, AB2.1, AB2.2, and AA2.3)
- Exhibit 8 1995 Effective FEMA Flood Insurance Rate Map
- Exhibit 9 General Utility Plan
- Exhibit 10 Grading Plan
- Exhibit 11 Geotechnical Study by Terra Associates, Inc. (dated January 26, 2015)
- Exhibit 12 Preliminary Drainage Report by WHPacific (prepared July 7, 2014; dated February 2015)
- Exhibit 13 Storm Drain Plan
- Exhibit 14 Traffic Impact Analysis by Transportation Engineering NorthWest (dated February 4, 2015)
- Exhibit 15 Confirmation of Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015)
- Exhibit 16 Construction Mitigation Description
- Exhibit 17 Development Agreement (Recording no. 20030221002405)
- Exhibit 18 Strander Agreement (Recording no. 20060420001032)
- Exhibit 19 Strander Boulevard Typical Roadway Section
- Exhibit 20 Advisory Notes to Applicant



**WOLLINS
GERMAN**

10100 100TH AVE SW • SUITE 1000
SEATTLE, WA 98148 • TEL: 206-465-1170
FAX: 206-465-1171
WWW.WOLLINSGERMAN.COM

TITLE
LONGACRES
BUSINESS
CENTER
SW 27TH ST. &
NACHES AVE SW
RENTON, WA



CONSULTANT

ISSUED:

MARK	DATE	DESCRIPTION

PROJECT NUMBER: RYAN 0114050
DRAWN BY:
ISSUE DATE: 02/06/2015
REAL:

SHEET TITLE / NUMBER
NEIGHBORHOOD
DETAIL MAP

A1.0



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PROJECT TITLE
LONGACRES BUSINESS CENTER
 Project Address
 RENTON, WA

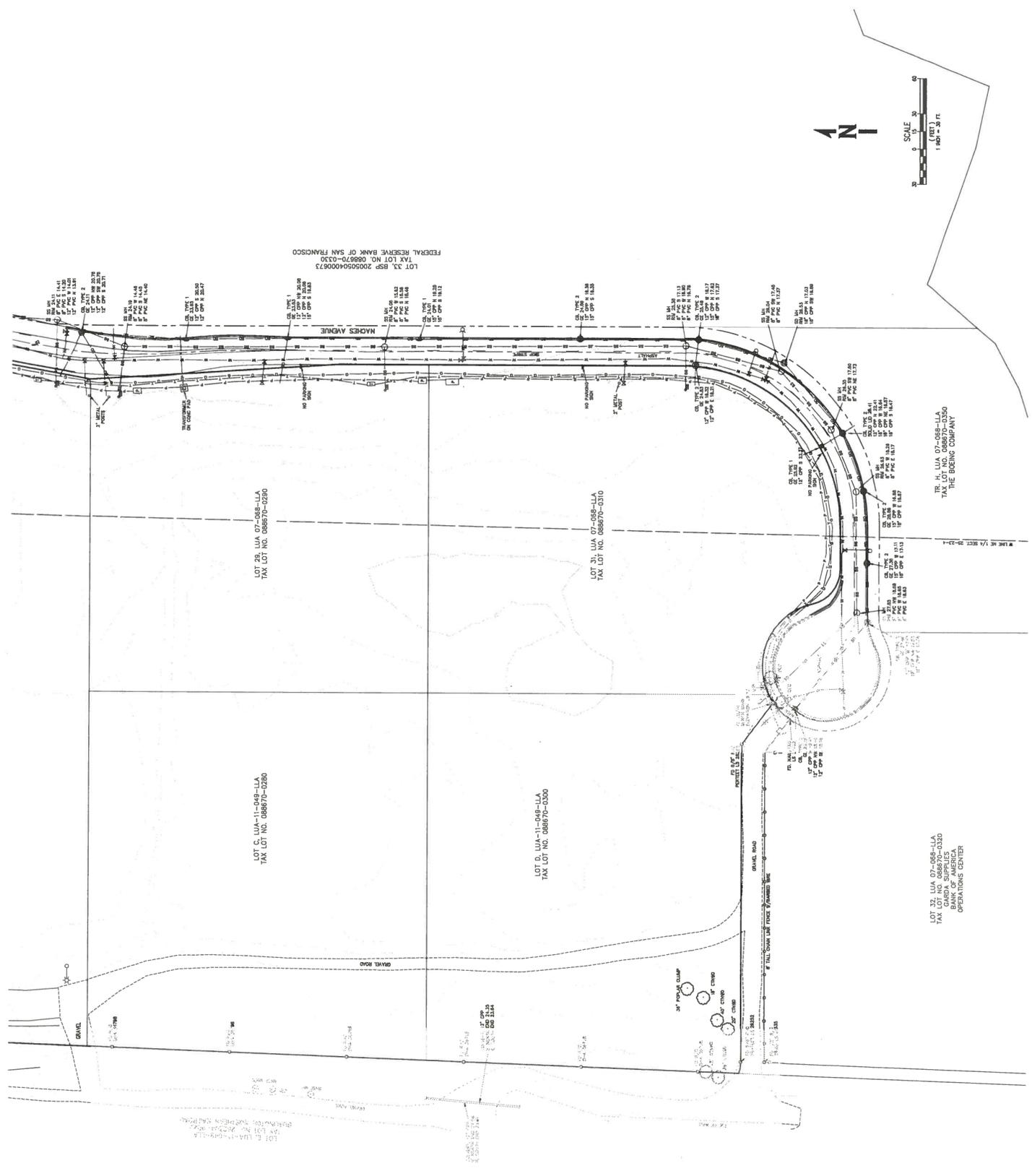
CONSULTANT
WHPacific
 12000 1st Avenue, Suite 300
 Redmond, WA 98073
 425.885.8888 Fax: 425.881.1888
 www.whpacific.com

ISSUED:	MARK	DATE	DESCRIPTION

PROJECT NUMBER PK000000
DRAWN BY CPC
ISSUE DATE 02/08/2025
SCALE



SHEET TITLE / NUMBER
EXISTING CONDITIONS SURVEY
TP1.2



TR. H, LIA 07-088-LIA
 TAX LOT NO. 088670-0350
 THE BERNS COMPANY

LOT 25, LIA 07-088-LIA
 GARDIA SUPPLIES
 TAX LOT NO. 088670-0320
 OPERATIONS CENTER



CONSULTANT

ISSUED:	MARK	DATE	DESCRIPTION

PROJECT NUMBER	RYNWT-14.000
DRAWN BY	CH
ISSUE DATE	02/02/15
SCALE	

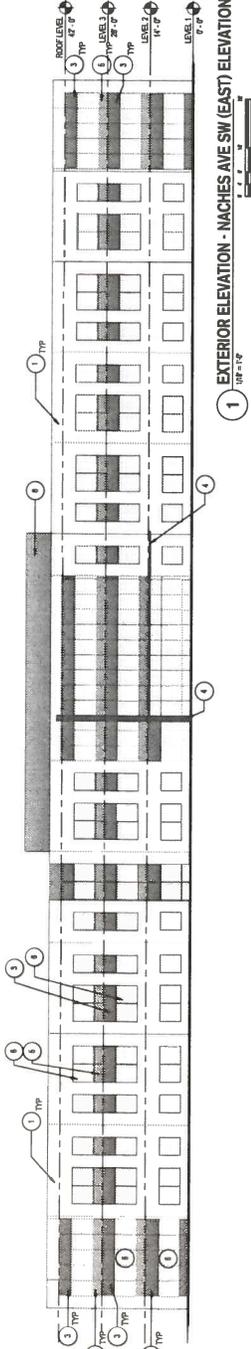
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EXTERIOR ELEVATIONS

AA4.1X

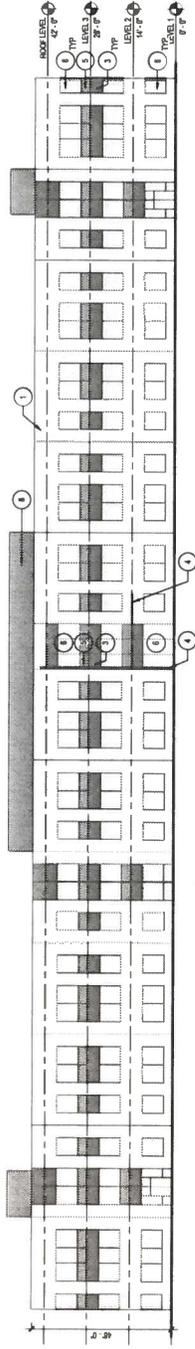
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KEYNOTES

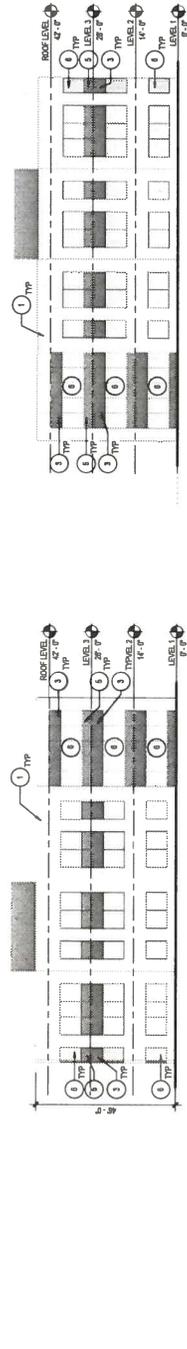
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- 2 PAINTED CONCRETE - COLOR 2
- 3 METAL PANEL - DARK GREY
- 4 METAL PANEL - BRONZE
- 5 SPANDREL GLASS
- 6 VISION GLASS
- 7 WINDOW MULLION
- 8 MECHANICAL SCREENING



1 EXTERIOR ELEVATION - NACHES AVE SW (EAST) ELEVATION
1/8" = 1'-0"

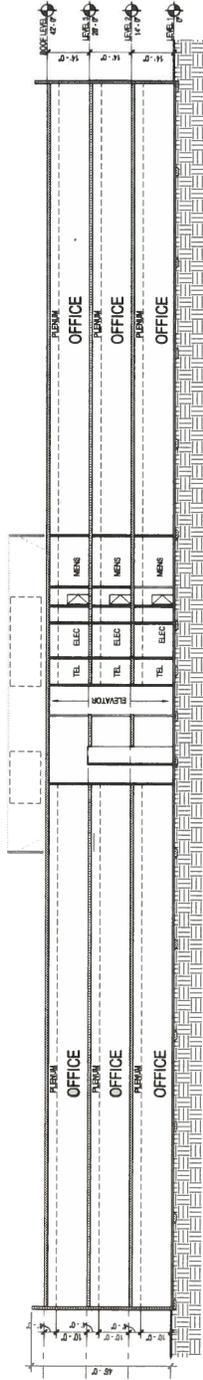


2 EXTERIOR ELEVATION - BNSF RAILROAD (WEST) ELEVATION
1/8" = 1'-0"

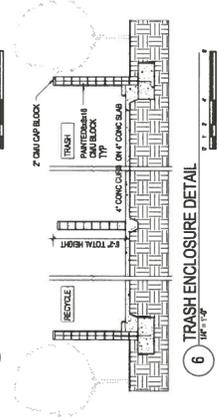


3 EXTERIOR ELEVATION - SW 27TH ST. (NORTH) ELEVATION
1/8" = 1'-0"

4 EXTERIOR ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"



5 BUILDING SECTION
1/8" = 1'-0"



6 TRASH ENCLOSURE DETAIL
1/8" = 1'-0"

EXHIBIT 6



CONSULTANT

ISSUED:	MARK	DATE	DESCRIPTION

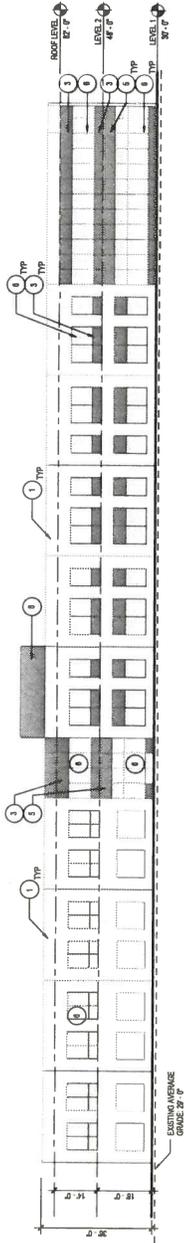
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DRAWN BY	COLLINS/COERMAN
ISSUE DATE	04/20/15
SCALE	

SHEET TITLE NUMBER
EXTERIOR ELEVATIONS

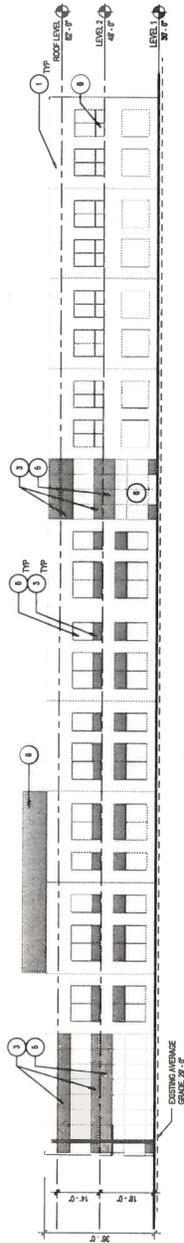
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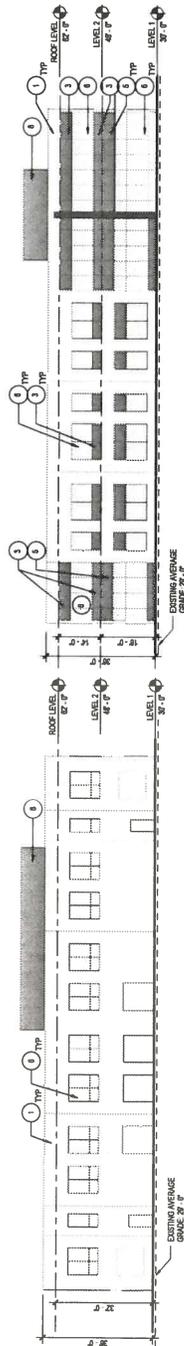
- KEYNOTES**
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 - 2 PAINTED CONCRETE - ACCENT
 - 3 METAL PANEL - DARK GREY
 - 4 METAL PANEL - ACCENT
 - 5 SPANDREL GLASS
 - 6 INSUR GLASS
 - 7 WINDOW MULLION
 - 8 MECHANICAL SCREENING



1 EXTERIOR ELEVATION - NACHES AVE SW (EAST) ELEVATION

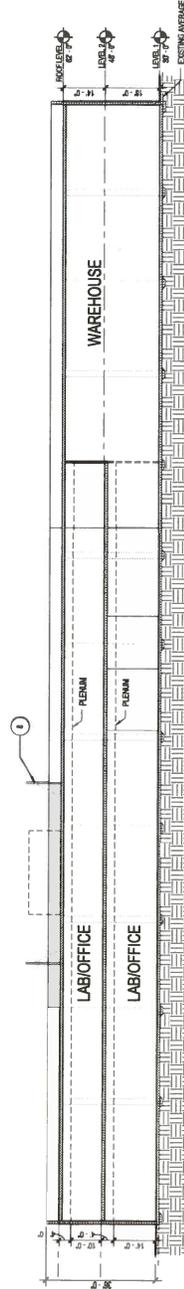


2 EXTERIOR ELEVATION - BNSF RAILROAD (WEST) ELEVATION

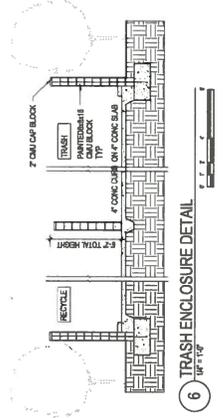


3 EXTERIOR ELEVATION - SW 27TH ST. (NORTH) ELEVATION

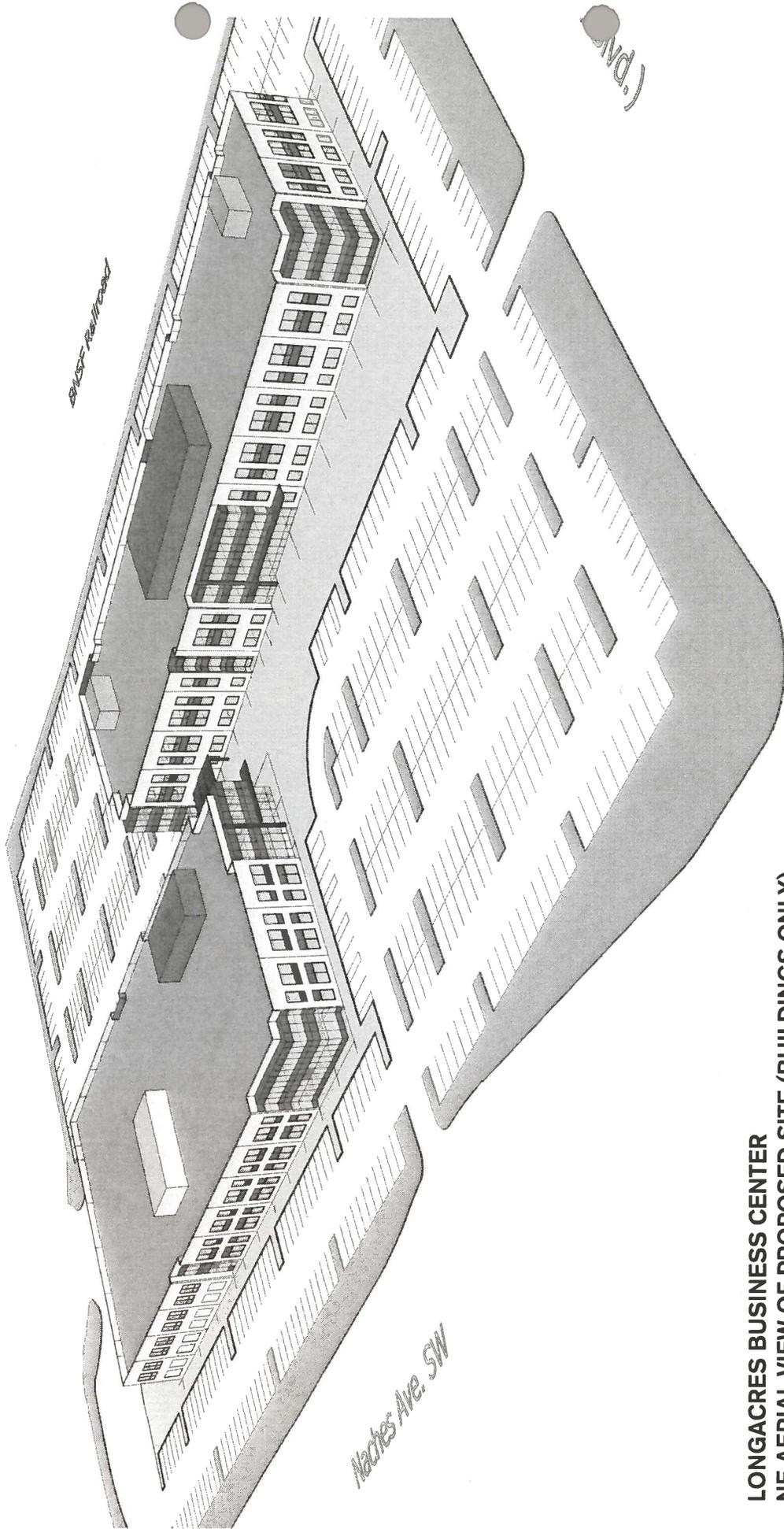
4 EXTERIOR ELEVATION - SOUTH ELEVATION



5 BUILDING SECTION



6 TRASH ENCLOSURE DETAIL



**LONGACRES BUSINESS CENTER
NE AERIAL VIEW OF PROPOSED SITE (BUILDINGS ONLY)**

2/11/2015
FOR REFERENCE ONLY

Naches Ave. SW

SW 1st St

Longacres Business Center



**LONGACRES BUSINESS CENTER
SW AERIAL VIEW OF PROPOSED SITE (BUILDINGS ONLY)**

2/11/2015
FOR REFERENCE ONLY



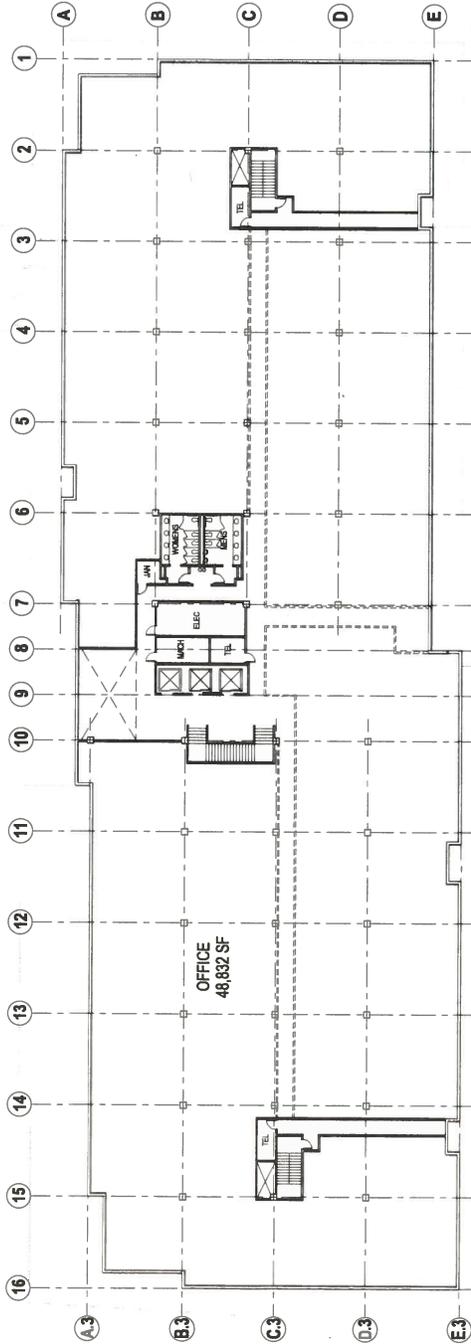
CONSULTANT

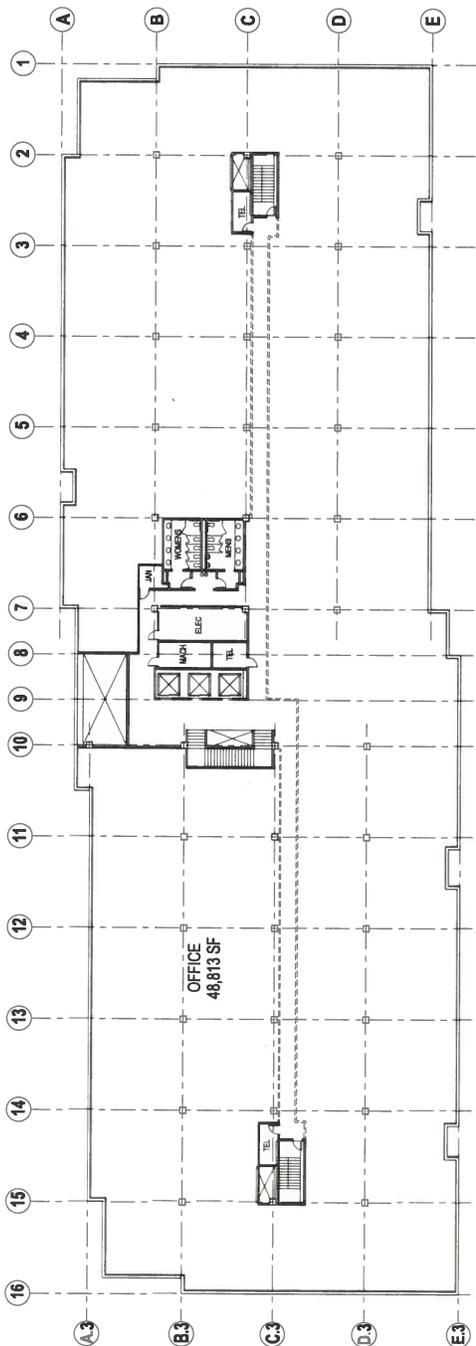
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PROJECT NUMBER	RYAN114.000
DRAWN BY	COLLINS-SHERMAN
ISSUE DATE	02/20/15
SCALE	

SHEET TITLE / NUMBER
**LEVEL 1 - OVERALL
 FLOOR PLAN**

AA2.1





PROJECT NORTH
1 OVERALL FLOOR PLAN - LEVEL 2
1/8" = 1'-0"

TITLE
**LONGACRES
 BUSINESS
 CENTER -
 OPERATIONS
 BUILDING**
 SW 27TH & MACHES A
 RENTON, WA

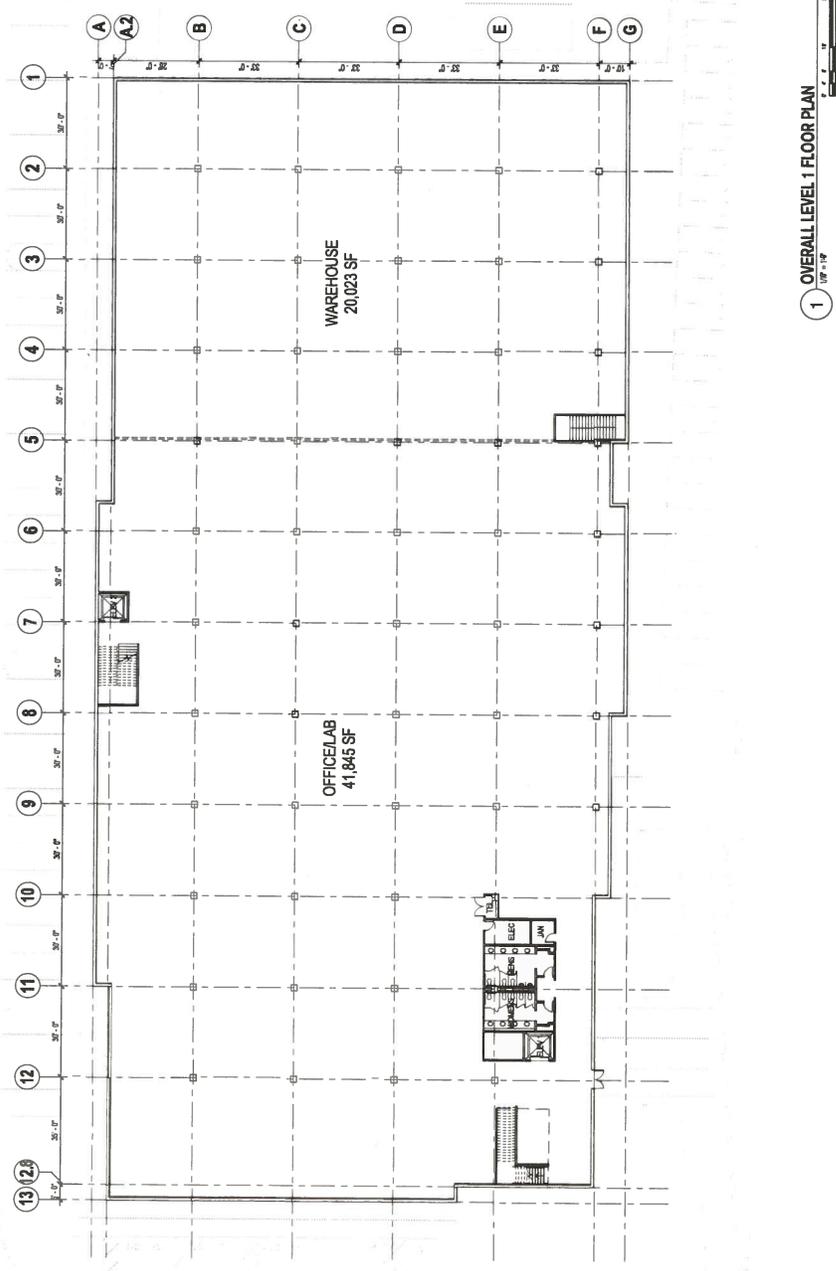


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DRAWN BY	COLLINS/CERMAN
ISSUE DATE	02/02/15
SCALE	

SHEET TITLE / NUMBER	LEVEL 1 - OVERALL FLOOR PLAN
AB2.1	



1 OVERALL LEVEL 1 FLOOR PLAN
 1/8" = 1'-0"

TITLE
**LONGACRES
 BUSINESS
 CENTER -
 OPERATIONS
 BUILDING**
 500 27TH & NICHOLS AVE
 RESTON, VA

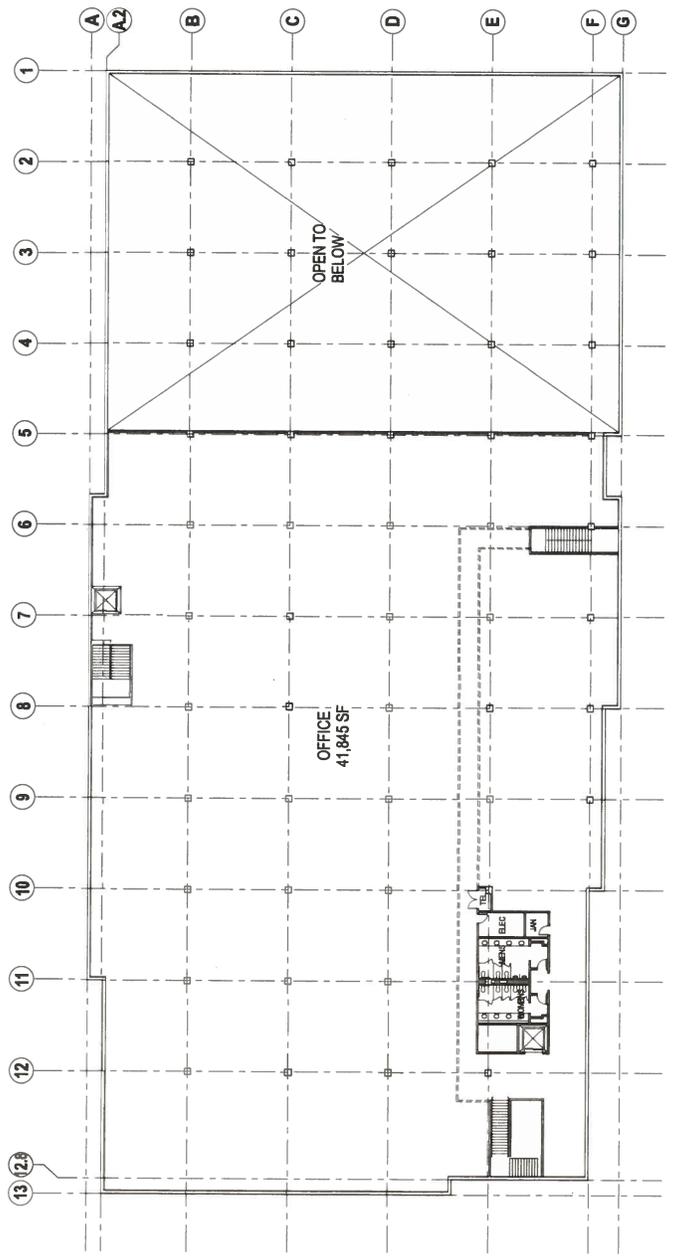


CONSULTANT

ISSUED:	MARK	DATE	DESCRIPTION

PROJECT NUMBER	RYW11-14-004
DRAWN BY	COLLIERSCOLLIERMAN
ISSUE DATE	02/02/15
SCALE	

SHEET TITLE / NUMBER	LEVEL 2 - OVERALL FLOOR PLAN
AB2.2	



1 OVERALL LEVEL 2 FLOOR PLAN
 1/4" = 1'-0"

TITLE
LONGACRES
BUSINESS
CENTER -
BUILDING A

SW 27TH & NICHES AV
RENTON, WA

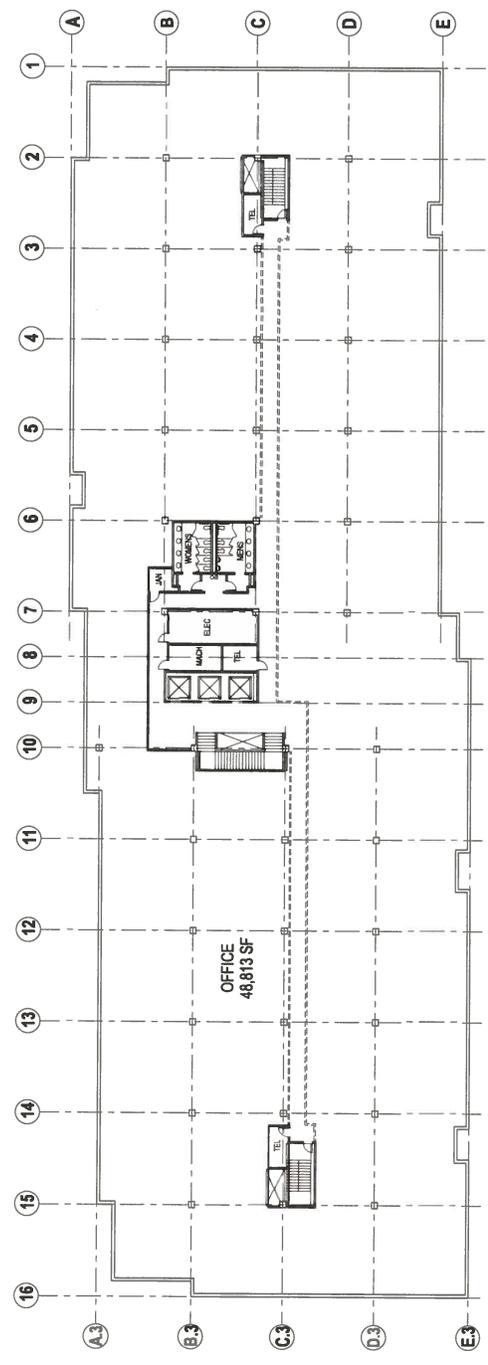


CONSULTANT

ISSUED:	MARK:	DATE:	DESCRIPTION:

PROJECT NUMBER	RYANT-14-004
DRAWN BY	COLLYNSCOYERMAN
SCALE DATE	08/02/15
SCALE	

SHEET TITLE / NUMBER	LEVEL 3 - OVERALL FLOOR PLAN
	AA2.3

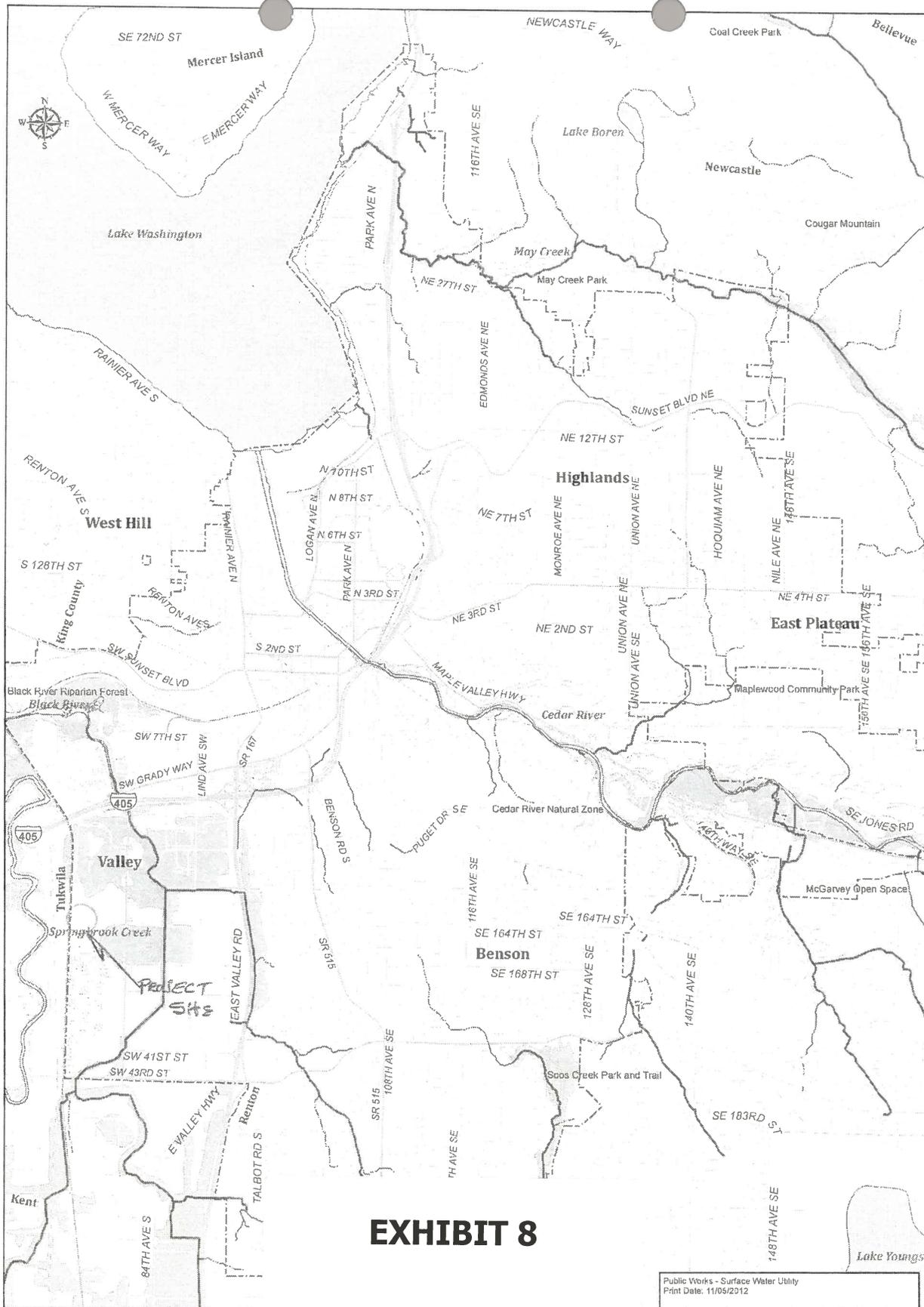


PROJECT NORTH



1 OVERALL FLOOR PLAN - LEVEL 3
1/8" = 1'-0"





Effective FEMA Flood Insurance Rate Map

EXHIBIT 8

Legend

- Renton City Limits
- Zone AE, A, AH, AO - Regulatory
- Zone X - Non Regulatory



Public Works - Surface Water Utility
 Print Date: 11/05/2012

Data Sources: City of Renton, FEMA FIRM revised May 15, 1995.
 Cedar River flood hazard area updated with FEMA Cedar River
 LOMR (Case No 06-10-B569P) approved December 4, 2006

This document is a graphic representation, not guaranteed
 to survey accuracy, and is based on the best information
 available as of the date shown. This map is intended for
 City display purposes only.



GEOTECHNICAL REPORT

**Long Acres Business Park
SW 27th Avenue and Naches Avenue SW
Renton, Washington**

Project No. T-7159



Terra Associates, Inc.

Prepared for:

**Ryan Companies
Phoenix, Arizona**

January 26, 2015

Entire Document
Available Upon Request

EXHIBIT 11

PRELIMINARY DRAINAGE REPORT

Longacres Business Center

Site Location:

The site is located on the west side of Naches Avenue S.W. south of S.W.27th St.(Strander Blvd.)

Renton, Washington

Prepared by:

WHPacific

12100 NE 195th Street, Suite 300
Bothell, WA 98011
(425) 951-4800

Project Manager, Ted Everage PE 425-951-4887
teverage@whpacific.com

Entire Document
Available Upon Request

Prepared:

July 7, 2014

EXHIBIT 12

MEMORANDUM

Entire Document
Available Upon Request

DATE: February 4, 2015

TO: Vicki Grover
City of Renton Public Works

FROM: Jeff Haynie, P.E./Chris Forster, P.E.
TENW

SUBJECT: Longacres Business Center
Traffic Impact Analysis
TENW Project No. 5016

This memorandum documents the traffic impact analysis completed for the proposed Longacres Business Center project. The project is located on a currently vacant site on the southwest corner of SW 27th Street/Naches Ave SW in Renton, WA (see Figure 1).

Executive Summary

Project Description. The proposed project would include 2 standalone buildings totaling 240,000 square feet on a currently vacant site. The development will include a combination of general office, lab/manufacturing/assembly/packaging, and warehouse space. To be conservative for trip generation purposes and to allow the most flexibility for future tenants, this traffic impact study assumes the development will consist of 220,000 square feet of general office and 20,000 square feet of warehouse space. Vehicular access to the site would be provided at 4 separate access driveways from both SW 27th St and Naches Ave SW. The site access driveway on SW 27th St is assumed to be restricted to right-in, right-out only. The remaining 3 driveways on Naches Ave SW will provide full access to all movements. Truck ingress/egress will be provided at the southernmost access at the existing cul-de-sac. The project is expected to be completed and occupied in late 2016. For the analysis in this report, a 2017 horizon year was used. This project is located within Phase IV of the *Boeing Longacres Office Park* and is subject to the 2003 Development Agreement and Strander Agreement.

Trip Generation. The proposed project is estimated to generate a total of 2,498 new weekday daily trips with 349 new trips occurring during the weekday AM peak hour (307 entering, 42 exiting), and 334 new trips occurring during the weekday PM peak hour (57 entering, 277 exiting).

Traffic Operations at Off-Site Intersections. Based on the results of a traffic operations analysis at 2 off-site study intersections, the study intersections currently operate at LOS A and B, and are expected to continue to operate at LOS A and B in 2017 without or with the proposed project.

Access Analysis. The results of the site access operations analysis show that the movements exiting the site at all four driveways are expected to operate at LOS A in 2017 with the proposed project.

Mitigation. No significant adverse transportation impacts are anticipated with the proposed Longacres Business Center development. Transportation impact fees are anticipated to be required and will be determined prior to building permit issuance based on discussions with the City of Renton and Boeing.

February 5, 2015



Mr. Jon Blaha
Ryan Companies US, Inc.
50 South Tenth Street, Suite 300
Minneapolis, MN 55403-2012

Entire Document
Available Upon Request

RE: Confirmation of Environmental Setting
Approximate 12-Acre Vacant Parcel
Lots 27-31, Boeing Longacres Park
Renton, King County, Washington

Dear Jon:

Terracon Consultants, Inc. (**Terracon**) has been retained by Ryan Companies US, Inc. (**Ryan**) to provide confirmation of the general environmental setting for the approximate 12-acre vacant parcel legally described as Parcels 27 – 31 of Boeing Longacres Park, City of Renton (**City**), King County, Washington (**the Property**). The Property includes the entirety of King County Tax Assessor Parcel Numbers 0886700270, 0886700280, 0886700290, 0886700300, and 0886700310. The Property is located in the northern half of Section 25, Township 23 N, Range 4 E and is immediately southwest of the intersection of SW 27th Street and Naches Avenue.

Per your request, Terracon has prepared this letter to summarize our findings regarding the potential for wetlands, streams, lakes, and critical habitat to be present at the Property. Information reviewed by Terracon for these findings was limited to available on-line resources and/or from prior reports provided to Terracon from Ryan.

Wetlands

Terracon reviewed the National Wetlands Inventory (**NWI**) map, published by the U.S. Department of the Interior Fish and Wildlife Service (see attached). The NWI map did not identify a wetland area on or adjacent to the Property. A wetland area was identified approximately 250 feet south-southeast of the Property. A report entitled “Longacres Office Park, Surface Water Management Project, Conceptual Wetland Mitigation Plan” prepared for Boeing Commercial Airplane Group (**Boeing**) by Shapiro and Associates, Inc. (**Shapiro**); dated August 1998 (**Shapiro Report**) was prepared for a 164-acre parcel which included the Property. No wetland areas were identified on the Property. In addition, a flood insurance rate map (**FIRM**) for the site (see attached) identifies the Property is not in the 100-year or 500-year flood zones.

It should be understood that the Shapiro Report was performed in 1998. As such, Terracon infers that the information may be subject to change following a current review by a wetlands

Terracon Consultants Inc. 21905 64th Ave W Mountlake Terrace, WA, 98043
P 425-771-3304 F 425-771-3549 terracon.com

Environmental

nical

Materials

EXHIBIT 15

WWW.RYANCOMPANIES.COM

RYAN COMPANIES US, INC.
3900 E. Camelback Rd.
Suite 100
Phoenix, AZ 85018
602-322-6100 phone
602-322-6300 fax



February 6, 2015

Mr. Clark Close
City of Renton Planning Division
1055 South Grady Way
Renton, WA 98057

RE: Longacres Business Center
Construction Mitigation Description

Dear Mr. Close:

For Application Item 10, Construction Mitigation Description, Ryan Companies is providing the following items:

1. Anticipated construction start date is May, 2015 with completion in December, 2016.
2. Allowable working hours will be from 6:00 am to 10:00 pm Monday-Friday and from 6:00 am to 6:00 pm on Saturday. It is not anticipated that work will occur overnight and on Sundays, however as conditions present themselves we reserve the ability to work off-hours and Sundays as necessary to maintain the construction schedule.
3. The primary transportation route anticipated to site via 405 will be 167 to Grady Way, Lind Ave, 27th, and then Naches. A Haul Route plan is attached.
4. A dedicated traffic control is not anticipated, however as required this will be developed in conjunction with the City of Renton.
5. The attached site logistic plan addresses the location of the contractor trailer complex, parking, site security and silt fencing, and wash out and track out stations.
6. Dust control will be controlled on site with water as required. A Storm Water Pollution Protection Plan will be provided as part of the final civil design package.

Please do not hesitate to contact Ryan Companies if you have any questions or need further information.

Sincerely,
Ryan Companies U.S., Inc.

A handwritten signature in dark ink that reads "Dave Williams". The signature is written in a cursive, flowing style.

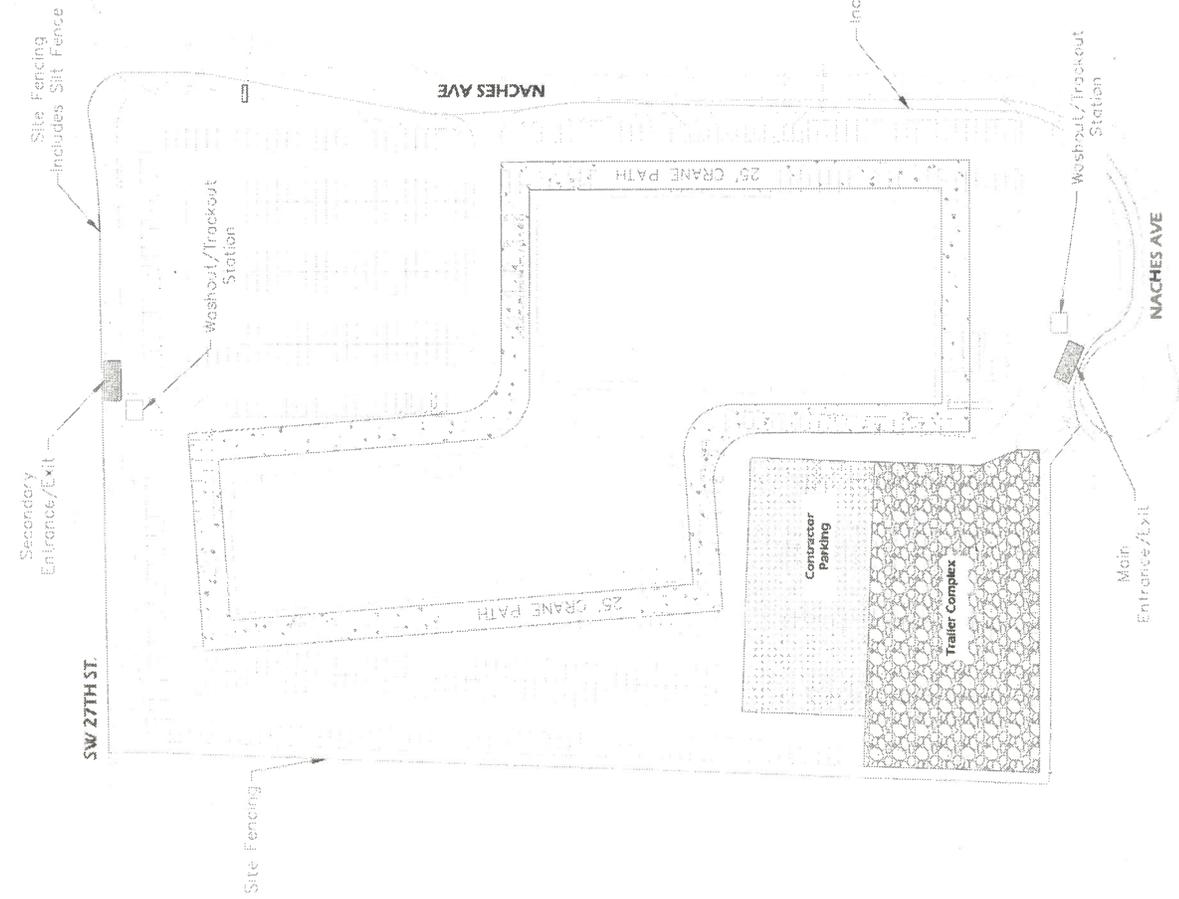
Dave Williams
Team Leader

Cc: Molly Carson, Ryan Companies U.S., Inc.

EXHIBIT 16

Longacres Business Park Site Logistics

Longacres Business Park
Site Logistics



Haul Route



20030221002405

CITY OF RENTON AG
PAGE 001 OF 026
02/21/2003 14 48
KING COUNTY, WA

44 00

Return Address

Office of the City Clerk
Renton City Hall
1055 South Grady Way
Renton, WA 98055

Document Title(s) (or transactions contained therein):

1 Development Agreement

Reference Number(s) of Documents assigned or released:
(on page ___ of documents(s))

Grantor(s) (Last name first, then first name and initials):

1 The Boeing Company

Grantee(s) (Last name first, then first name and initials):

1 City of Renton

Legal description (abbreviated. i e lot, block, plat or section, township, range)

Portion of Meader Henry - D C #46 PCL, STR 242304 TAXLOT 22 PCL 1 BOEING, STR 242304 TAXLOT 48 PCL 1 BOEING, STR 242304 TAXLOT 50 PCL J BOEING, STR 242304 TAXLOT 52 PCL K BOEING, STR 242304 TAXLOT 55 PCL L BOEING, STR 242304 TAXLOT 71 PCL M BOEING, STR 252304 TAXLOT 2 PCL G BOEING, and STR 242304 TAXLOT 62 PCL F BOEING

Full legal is on pages 9 through 19 of document

Assessor's Property Tax Parcel/Account Number

Portions of the following #000580-0001-07, #000580-0016-00, #000580-0018-08, #242304-0022-06, #242304-9048-06, #242304-9050-01, #242304-9052-09, #242304-9055-06, #242304-9071-06, #252304-9002-09 and #252304-9062-06

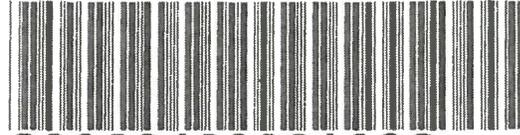
[03003-0104/SB022180 328]

8/12/02

Entire Document
Available Upon Request

EXHIBIT 17

Return Address:
City Clerk's Office
City of Renton
1055 South Grady Way
Renton, WA 98055



20060420001032

CITY OF RENTON AG 75.00
PAGE 001 OF 044
04/20/2006 14:19
KING COUNTY, WA

Please print or type information **WASHINGTON STATE RECORDER'S Cover Sheet** (RCW 65.04)

Document Title(s) (or transactions contained therein): (all areas applicable to your document must be filled in)	
1. <u>Strander Agreement (CAG-02-211)</u>	2. _____
3. _____	4. _____
Reference Number(s) of Documents assigned or released:	
Additional reference #'s on page ____ of document	
Grantor(s) (Last name first name, initials)	
1. <u>The Boeing Company</u>	, _____
2. _____	, _____
Additional names on page ____ of document.	
Grantee(s) (Last name first, then first name and initials)	
1. <u>City of Renton</u>	, _____
2. _____	, _____
Additional names on page ____ of document.	
Legal description (abbreviated: i.e. lot block, plat or section, township, range)	
Beginning at the intersection of the North line of said Donation Land Claim No. 46 with the most Westerly line of Government Lot 13 in said Section 24;	
Additional legal is on pages 8-12, 14, 19-23, 25-30, 32-40 of document.	
Assessor's Property Tax Parcel Account Number	<input type="checkbox"/> Assessor Tax # not yet assigned
The Auditor/Recorder will rely on the information provided on the form. The staff will not read the document to verify the accuracy or completeness of the indexing information provided herein.	

I am requesting an emergency nonstandard recording for an additional fee as provided in RCW 36.18.010. I understand that the recording processing requirements may cover up or otherwise obscure some part of the text on the original document.

_____ Signature of Requesting Party

Entire Document
Available Upon Request

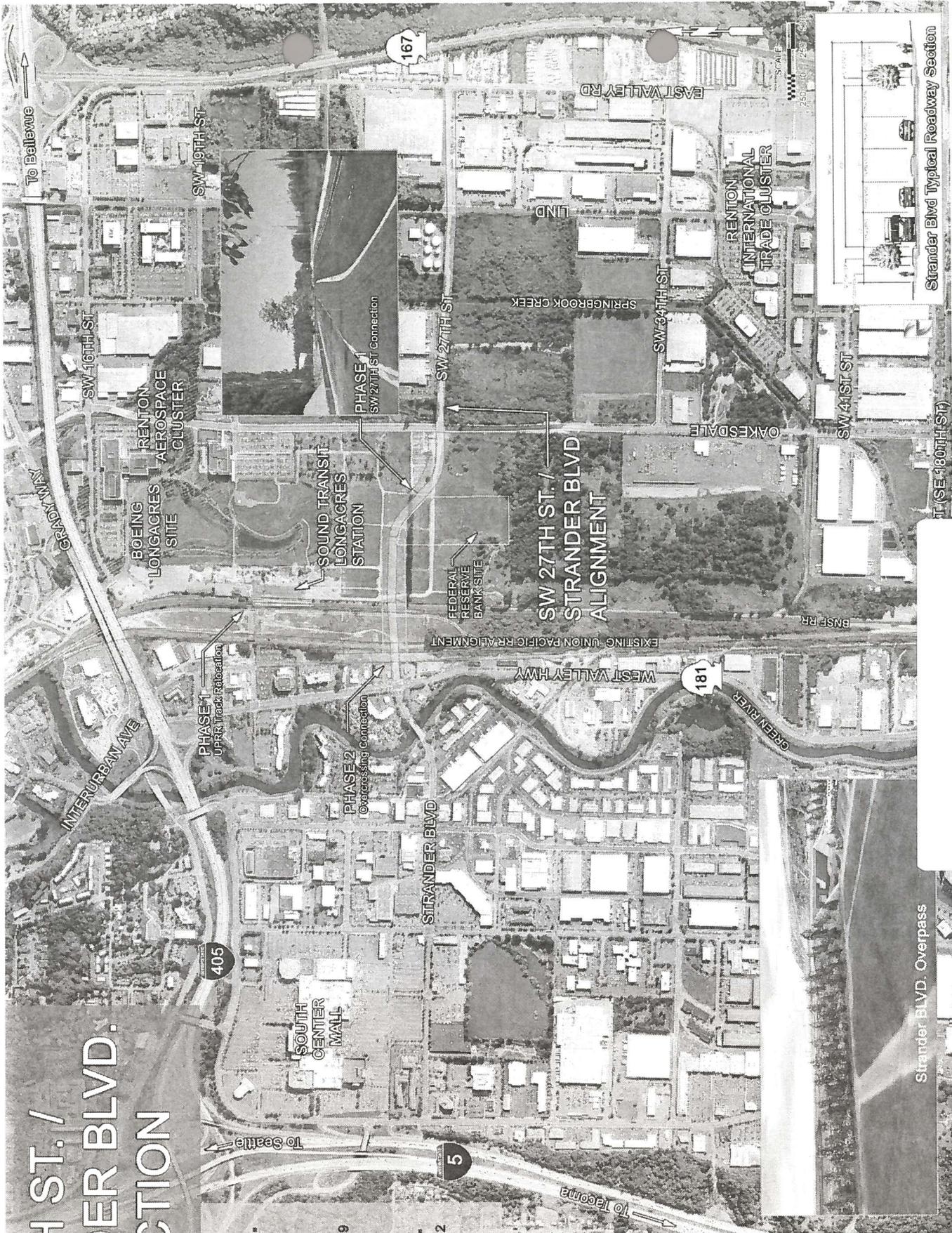
EXHIBIT 18

SW 27TH ST. / STRANDER BLVD. CONNECTION

"SW 27TH ST. Connection"
Completed 2006

"UPRR Track Relocation"
Begin Construction 2008-2009

"Overcrossing Connection"
Begin Construction 2010-2012





Application Date: February 12, 2015
Name: Longacres Business Center

Site Address: SW Corner of SW 27th St and Naches Ave
SW, Renton, WA

Plan – Planning Review

Engineering Review Comments Vicki Grover | 425-430-7291 | vgrover@rentonwa.gov

Recommendations:

- Grading plan needs to show existing contours, proposed contours and some spot elevations.
- Include the required 12 inch water main connection to the City’s water main in Oakesdale Ave. SW. This is a requirement to achieve the necessary fire flow for the development. The location shown within SW 27th Street is not allowed. Street frontage improvements are required based on the Strander Blvd Typical Roadway Section provided in the Pre-App.
- The geotech is recommending surcharging the site. Is this a possibility? If so what will the building foundations be? If not what building foundations will be proposed?
- Reference the storm water manual that you are designing to in the TIR.
- See Pg. 4.3.4-15 in Chapter 4 of the 1990 KCSWDM for the peak rate runoff to be used for the Uniform Flow Analysis Method and the Backwater Analysis Method for pipe sizing.
- Include the core requirements 1-7 and the special requirements 1-8 in Chapter 1 of the 1990 KCSWDM.

Fire Review - Building Comments Corey Thomas | 425-430-7024 | cthomas@rentonwa.gov

Recommendations: Environmental Impact Comments:

- Fire impact fees are applicable at the rate of \$0.14 per square foot of commercial office/laboratory space and \$0.08 per square foot of industrial/manufacturing space. This fee is paid at time of building permit issuance.

Code Related Comments:

- The preliminary fire flow is 5,250 gpm. A minimum of one hydrant is required within 150 feet of each structure and five additional hydrants are required within 300 feet of each structure. Applicant shall also meet maximum hydrant spacing of 600 feet on center. A looped water main is required to be installed around the buildings. Due to existing dead end mains feeding this area, it appears adequate fire flow is not available in this area. Further off site water main loops are required to provide adequate fire flow.
- Approved fire sprinkler and fire alarm systems are required throughout the building. Separate plans and permits required by the fire department. Direct outside access is required to the fire sprinkler riser room. Fully addressable and full detection is required for the fire alarm system.
- Fire department apparatus access roadways are required within 150 feet of all points on the building. Fire lane signage required for the onsite roadway. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Roadways shall support a minimum of a 30 ton vehicle and 322 psi point loading.
- An electronic site plan is required prior to occupancy for pre fire planning purposes.
- All medical office buildings equipped with an elevator in the City of Renton are required to have at least one elevator meet the size requirements for a bariatric size stretcher. Car size shall accommodate a minimum of a 40 inch by 84 inch stretcher.
- The buildings shall comply with the City of Renton Emergency Radio Coverage ordinance. Testing shall verify both incoming and outgoing minimum emergency radio signal coverage. If inadequate, the building shall be enhanced with amplification equipment in order to meet minimum coverage. Separate plans and permits are required for any proposed amplification systems.
- Applicant shall provide a completed Hazardous Material Inventory Statement prior to building permit issuance. Use of City of Renton form or approved equivalent is required.



Planning Review Comments

Clark Close | 425-430-7289 | cclose@rentonwa.gov

Recommendations:

1. RMC section 4 4 030.C.2 limits haul hours between eight thirty (8:30) a.m. and three thirty (3:30) p.m., Monday through Friday unless otherwise approved in advance by the Development Services Division.
2. Commercial and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays is by permission only. No work is permitted on Sundays.
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plants appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.
4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.

Police Review Comments

Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

Recommendations: 258 CFS Estimated Annually

POLICE RELATED COMMENTS

To protect materials and equipment it is recommended that all materials and tools be locked up when not in use. The site will need security lighting and any construction trailer should be completely fenced in with portable chain link fencing. The fence will provide both a physical and psychological barrier to any prospective thief and will demonstrate that this area is private property. Construction trailers should be kept locked when not in use, and should also have a heavy duty deadbolt installed with no less than a 1 1/2" throw when bolted.

Glass windows in the trailer should be shatter resistant.

I also recommend the business post the appropriate "No Trespassing" signs on the property while it's under construction. This will aid police in making arrests on the property after hours if suspects are observed vandalizing or stealing building materials. Due to the isolated location of this site, the use of private security personnel to patrol the site during the hours of darkness is recommended.

All exterior doors should be made of solid metal or metal over wood, with heavy duty deadbolt locks, latch guards or pry resistant cylinders around the locks, and peepholes. If glass doors are used, they should be fitted with the hardware described above and additionally be fitted with a layer of security film. Security film can increase the strength of the glass by up to 300%, greatly reducing the likelihood of breaking glass to gain entry. Access to the back of the buildings should be limited, preferably with security fencing, as these areas could be vulnerable to crime due to the lack of natural surveillance by business customers or employees.

It is recommended that the commercial areas be monitored with recorded security alarm systems installed. It's not uncommon for businesses to experience theft and/or vandalism during the hours of darkness. An auxiliary security service could be used to patrol the property during those times. It is important to direct all foot traffic towards the main entrance of the buildings. Any alternative employee entrances should have controlled access doors to prevent trespassing.

All areas of this project need to have adequate lighting. This will assist in the deterrent of theft from motor vehicle (one of the most common crimes in Renton) as well as provide safe pedestrian travel for both employees and customers. Both structures should have building numbers clearly posted with numbers at least 12" in height and of a color contrasting with the building. This will assist emergency personnel in locating the correct location for response. Landscaping should be installed with the objective of allowing visibility – not too dense and not too high. Too much

landscaping will make customers and employees feel isolated and will provide criminals with concealment to commit crimes such as burglary. With the expanse of land surrounding this site, there is also the possibility of attracting transients to this area. It's important to keep the dumpster areas located within a housing and locked when not in use. I highly recommend that the developer have a Renton Police Crime Prevention Representative conduct a security survey of the premises once construction is complete. Contact Holly Trader, 425.430.7519 when you would like to make an appointment.

Technical Services Comments Bob Mac Onie | 425-430-7369 | bmaconie@rentonwa.gov

Recommendations: Short Plat: Bob Mac Onie 02/19/2015
 This project requires a Lot Combination into a single lot or a lot line adjustment such that the required parking is on the same lot as each structure.

Community Services Comments Leslie Betlach | 425-430-6619 | lbetlach@rentonwa.gov

- Recommendations:
- A. A sidewalk was recently constructed on the north side of SW 27th Street. The sidewalk is to serve both pedestrians and bicyclists until a separated multi-use trail is constructed. The City recommends a crosswalk crossing from the south side of SW 27th Street to the north side for connectivity.
 - B. There are no impacts to parks.
 - C. Street trees - On SW 27th Street
 1. At the SW corner of 27th/Naches is a stop sign and street light. The first tree shall be planted 40 feet from the stop sign.
 2. Do not plant closer than 30 feet from street lights.
 3. Too many street trees shown. Spacing shall be 1 tree every 50 feet and not closer (equal to 6 trees total).
 4. Maintain a minimum distance of 6 feet to a fire hydrant.
 5. Apply similar treatment to area from last westerly tree shown to the west property line.
 6. Add sidewalk between planting strip and property line.
 - On Naches Ave SW
 7. Show only 14 street trees (currently shows too many trees). One tree every 50 feet of frontage.
 8. Eliminate street tree at mid-entrance to plot - south tree.
 - Cul-de-Sac Street (Naches Ave SW)
 9. Show only 5 street trees.
 - Species Selection for street trees
 10. Do not use Quercus robur, other oak species of any nut producing trees.
 11. Tilia cordata 'Greenspire' is a poor cultivar, do not use and select other cultivar or species.

REPORT TO THE HEARING EXAMINER

A. SUMMARY AND PURPOSE OF REQUEST

HEARING DATE: April 14, 2015

Project Name: Longacres Business Center

Owner: Longacres Renton, LLC / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018

Applicant: Molly Carson, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018

Contact: Dave Williams, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018

File Number: LUA15-000076, ECF, SA-H, MOD

Project Manager: Clark H. Close, Associate Planner

Project Summary: The applicant is requesting Hearing Examiner Site Plan Review, SEPA Environmental Review, and a Street Modification for two (2) standalone buildings totaling 250,825 square feet (SF). The vacant 11.8 acre site is located at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. Site access will be served from SW 27th St and Naches Ave SW. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The project site was included in the design of the existing storm drainage treatment system and the site contains High Seismic Hazards.

Project Location: SW Corner of Naches Ave SW & SW 27th St (Approximately at 2715 Naches Ave SW)



Entire Document
Available Upon Request

Project Location Map

HEX Report_LUA15-000076



NOTICE OF APPLICATION AND PROPOSED DETERMINATION OF NONSIGNIFICANCE-MITIGATED (DNS-M)

A Master Application has been filed and accepted with the Department of Community & Economic Development (CED) – Planning Division of the City of Renton. The following briefly describes the application and the necessary Public Approvals.

DATE OF NOTICE OF APPLICATION: February 17, 2015
LAND USE NUMBER: LUA15-000076, ECF, SA-H
PROJECT NAME: Longacres Business Center

PROJECT DESCRIPTION: The applicant, Ryan Companies U.S. Inc., is requesting Hearing Examiner Site Plan Review and SEPA Environmental Review for two (2) standalone buildings totaling 250,825 square feet. The vacant 11.8 acre site, called Longacres Business Center, consists of five (5) parcels (APN 088670-0270, -0280, -0290, -0300, and -0310) at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. The site is part of the original 158 acres of property known as the Longacres Office Park. Site access will be served through a single right in/right out only to SW 27th St, two entrances along Naches Ave SW, and a four off the existing cul-de-sac. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The site contains High Seismic Hazards. The site is not in the 100-year flood zone and currently no wetlands, streams, lakes or critical habitats are identified on the property. There are nine (9) significant trees onsite and the applicant is not proposing to retain any trees.

The applicant submitted a Geotechnical Study by Terra Associates, Inc. (dated January 26, 2015); a Traffic Impact Analysis by Transportation Engineering NorthWest (dated February 4, 2015); a Preliminary Drainage Report by WHPacific (dated July 7, 2014); and an Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015). The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and east of the project.

PROJECT LOCATION: SW Corner of SW 27th St & Naches Ave SW

OPTIONAL DETERMINATION OF NON-SIGNIFICANCE, MITIGATED (DNS-M): As the Lead Agency, the City of Renton has determined that significant environmental impacts are unlikely to result from the proposed project. Therefore, as permitted under the RCW 43.21C.110, the City of Renton is using the Optional DNS-M process to give notice that a DNS-M is likely to be issued. Comment periods for the project and the proposed DNS-M are integrated into a single comment period. There will be no comment period following the issuance of the Threshold Determination of Nonsignificance-Mitigated (DNS-M). This may be the only opportunity to comment on the environmental impacts of the proposal. A 14-day appeal period will follow the issuance of the DNS-M.

PERMIT APPLICATION DATE: February 12, 2015
NOTICE OF COMPLETE APPLICATION: February 17, 2015
APPLICANT: Molly Carson, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018
PROJECT CONTACT PERSON: Dave Williams, Ryan Companies US, Inc. / 3900 E. Camelback Road, Suite 100 / Phoenix, AZ 85018

If you would like to be made a party of record to receive further information on this proposed project, complete this form and return to: City of Renton, CED – Planning Division, 1055 So. Grady Way, Renton, WA 98057.

Name/File No.: Longacres Business Center/LUA15-000076, ECF, SA-H

NAME: _____

MAILING ADDRESS: _____

TELEPHONE NO.: _____

EXHIBIT 22



Permits/Review Requested: Environmental (SEPA) Review, Site Plan Review-Hearing Examiner

Other Permits which may be required: Building, Construction, Sign, and Fire Permits

Requested Studies: Geotechnical Study, Traffic Impact Analysis, Preliminary Drainage Report, and Environmental Setting Report

Location where application may be reviewed: Department of Community & Economic Development (CED) – Planning Division, Sixth Floor Renton City Hall, 1055 South Grady Way, Renton, WA 98057

PUBLIC HEARING: Public hearing is tentatively scheduled for April 14, 2015 before the Renton Hearing Examiner in Renton Council Chambers at 11:00 am on the 7th floor of Renton City Hall located at 1055 South Grady Way.

CONSISTENCY OVERVIEW:
Zoning/Land Use: The subject site is designated **Employment Area Valley (EAV)** on the City of Renton Comprehensive Land Use Map and **Commercial Office (CO)** on the City's Zoning Map.

Environmental Documents that Evaluate the Proposed Project: Environmental (SEPA) Checklist

Development Regulations Used For Project Mitigation: The project will be subject to the City's SEPA ordinance, **RMC 4-2-120B; 4-4; 4-6-060; 4-9-070** and other applicable codes and regulations as appropriate.

Proposed Mitigation Measures: The following Mitigation Measures will likely be imposed on the proposed project. These recommended Mitigation Measures address project impacts not covered by existing codes and regulations as cited above.

- ***Project construction shall be required to comply with the recommendations found in the Geotechnical Engineering Study prepared by Terra Associates, Inc. (dated January 26, 2015).***

Comments on the above application must be submitted in writing to Clark H. Close, Associate Planner, CED – Planning Division, 1055 South Grady Way, Renton, WA 98057, by 5:00 PM on March 3, 2015. This matter is also tentatively scheduled for a public hearing on April 14, 2015, at 11:00 am, Council Chambers, Seventh Floor, Renton City Hall, 1055 South Grady Way, Renton. If you are interested in attending the hearing, please contact the Planning Division to ensure that the hearing has not been rescheduled at (425) 430-6578. Following the issuance of the SEPA Determination, you may still appear at the hearing and present your comments regarding the proposal before the Hearing Examiner. If you have questions about this proposal, or wish to be made a party of record and receive additional information by mail, please contact the project manager. Anyone who submits written comments will automatically become a party of record and will be notified of any decision on this project.

If you would like to be made a party of record to receive further information on this proposed project, complete this form and return to: City of Renton, CED – Planning Division, 1055 So. Grady Way, Renton, WA 98057.

Name/File No.: Longacres Business Center/LUA15-000076, ECF, SA-H

NAME: _____

MAILING ADDRESS: _____ CITY/STATE/ZIP: _____

TELEPHONE NO.: _____

CONTACT PERSON: Clark H. Close, Associate Planner; Tel: (425) 430-7289;
Email: cclose@rentonwa.gov

PLEASE INCLUDE THE PROJECT NUMBER WHEN CALLING FOR PROPER FILE IDENTIFICATION



DRAINAGE REPORT

Longacres Business Center

Site Location:

The site is located on the west side of Naches Avenue S.W. south of S.W.27th St. (Strander Blvd.)

Renton, Washington

Prepared by:

WHPacific

12100 NE 195th Street, Suite 300
Bothell, WA 98011
(425) 951-4800

Project Manager, Ted Everage PE 425-951-4887
teverage@whpacific.com

RECEIVED

MAR 26 2015

CITY OF RENTON
PLANNING DIVISION

**Entire Document
Available Upon Request**

Prepared:

March 24, 2015

EXHIBIT 23

WWW.RYANCOMPANIES.COM

RYAN COMPANIES US, INC.
3900 East Camelback Road, Suite 100
Phoenix, AZ 85018-2653



602-322-6100 tel
602-322-6300 fax

March 25, 2015

Mr. Steve Lee
Development Engineer Manager
City of Renton
1055 S Grady Way, 6th Floor
Renton, WA 98057
(425) 430 7299

Re: Longacres Business Center: Request for Modification in Street Improvements on Naches Avenue NW, within the Longacres Area

Mr. Lee,

By way of this letter I am requesting a modification of the street frontage improvements as outlined RMC 4-6-060F.2.d, along Naches Road SW (right-of-way width 60 feet, pavement width of 40 feet, sidewalks width of 5 feet). At our Pre Application meeting January 2015, no mention of improvements to Naches Ave SW were communicated. The current state of Naches Ave SW is consistent with the requirements for the Longacres area.

In lieu of the above, we propose constructing a five foot sidewalk and five foot landscaping buffer from the NE corner of SW 27th St (Strander Blvd) along Naches Avenue SW until the project entry. This will encourage/create a safe and aesthetically pleasing pedestrian access/activity to Longacres Business Center's main entrance as well as discourage pedestrian traffic at the secondary, or truck loading entrance.

Please contact me with any questions.

Regards,

RYAN COMPANIES US, INC.

A handwritten signature in cursive script, appearing to read "Molly Ryan Carson".

Molly Ryan Carson
Vice President of Development
(602) 677-4251

Attachments:
Variance Application
Vicinity Map
Site Plan illustrating requested modification

EXHIBIT 24

DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT



RIGHT OF WAY USE | DEFERRAL | WAIVER | VARIANCE | FEE IN LIEU APPLICATION

Planning Division | Development Engineering Section
1055 S Grady Way - Renton, WA 98057
Phone: (425) 430-7200 | Fax: (425) 430-7231

Project Name: Longacres Business Center

Site Address: SW 27th Avenue and Naches Avenue SW Renton WA, 98057

Legal Description of Property: A portion of the NW 1/4 and NE 1/4, Section 25, Township 23 North, Range 4 East, W.M., City of Renton, County of King, State of Washington

Include King County Assessors Parcel No: 0886700300, 0886700280, 0886700270, 0886700290, 0886700310

Applicant: Molly Ryan Carson, Ryan Companies US, Inc. Phone: 602-322-6140

Cell: 602-677-4251

Business Address: 3900 E Camelback Road Ste. 100 City/State: Phoenix, AZ Zip: 85018

Attach a letter of request with this application, stating in detail:

- 1. Applicable City Code and Sub-ordinance
2. Items and quantities involved
3. Justification for request
4. Amount of time requested
5. Provide a vicinity map (8 1/2" x 11")
6. Provide a drawing of the site (8 1/2" x 11")

Mail or drop off the completed application and map/drawing to:

Steve Lee, Development Engineering Manager
City of Renton
1055 S Grady Way, 6th Floor
Renton, WA 98057
(425) 430-7299

Completed applications will be reviewed and a written determination issued approximately 3-4 weeks from date of receipt of application. You will be contacted if the application is incomplete or if additional information is required.

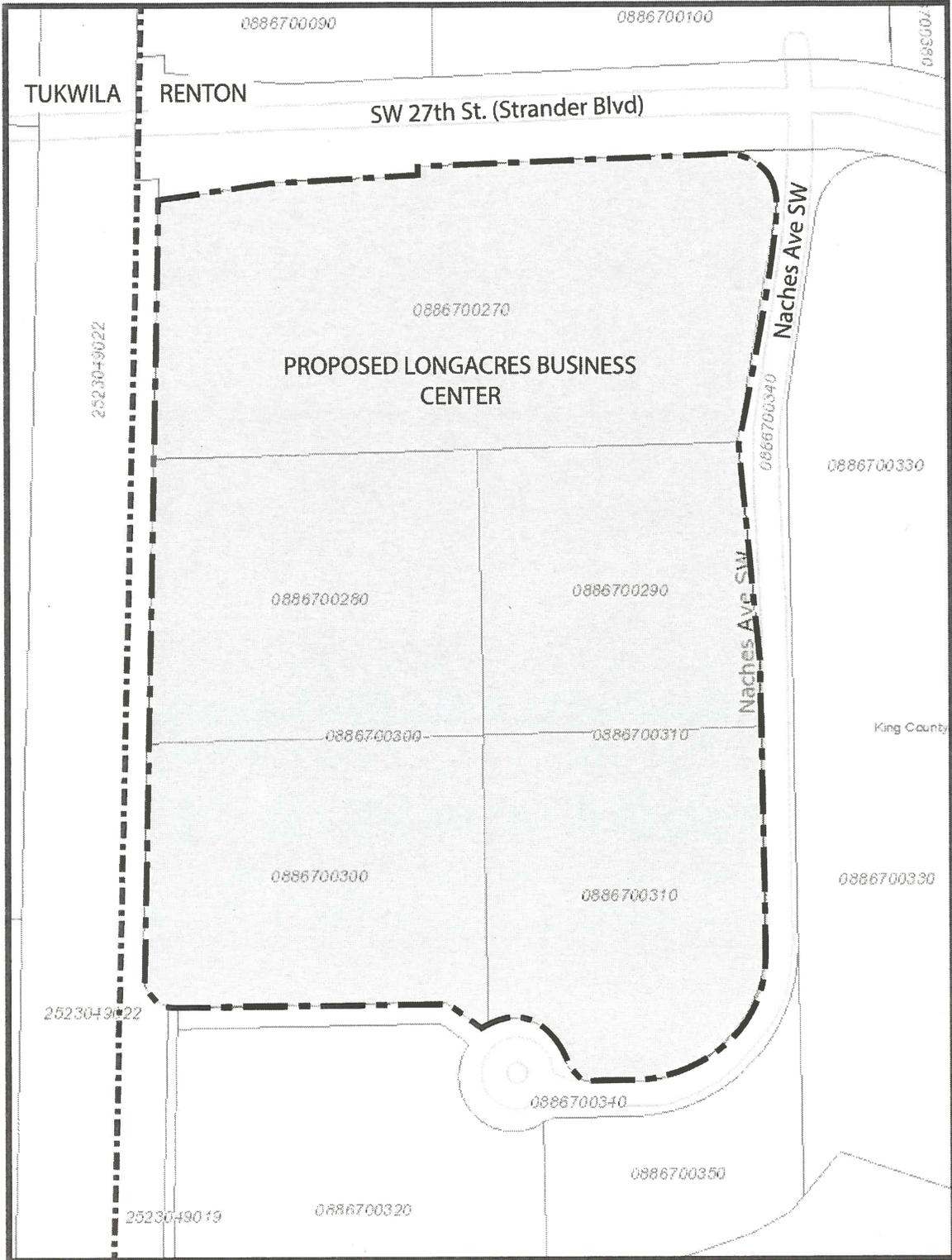
3-24-2015

Applicant's Signature

Date

For City Use Only

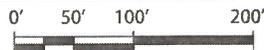
Form with checkboxes for Deferral (New, Extension), Variance (New, Extension), Offsite, Onsite, Excess Right of Way, Fee In Lieu, Waiver, and checkboxes for Underground, Driveway, Slopes, Noise.



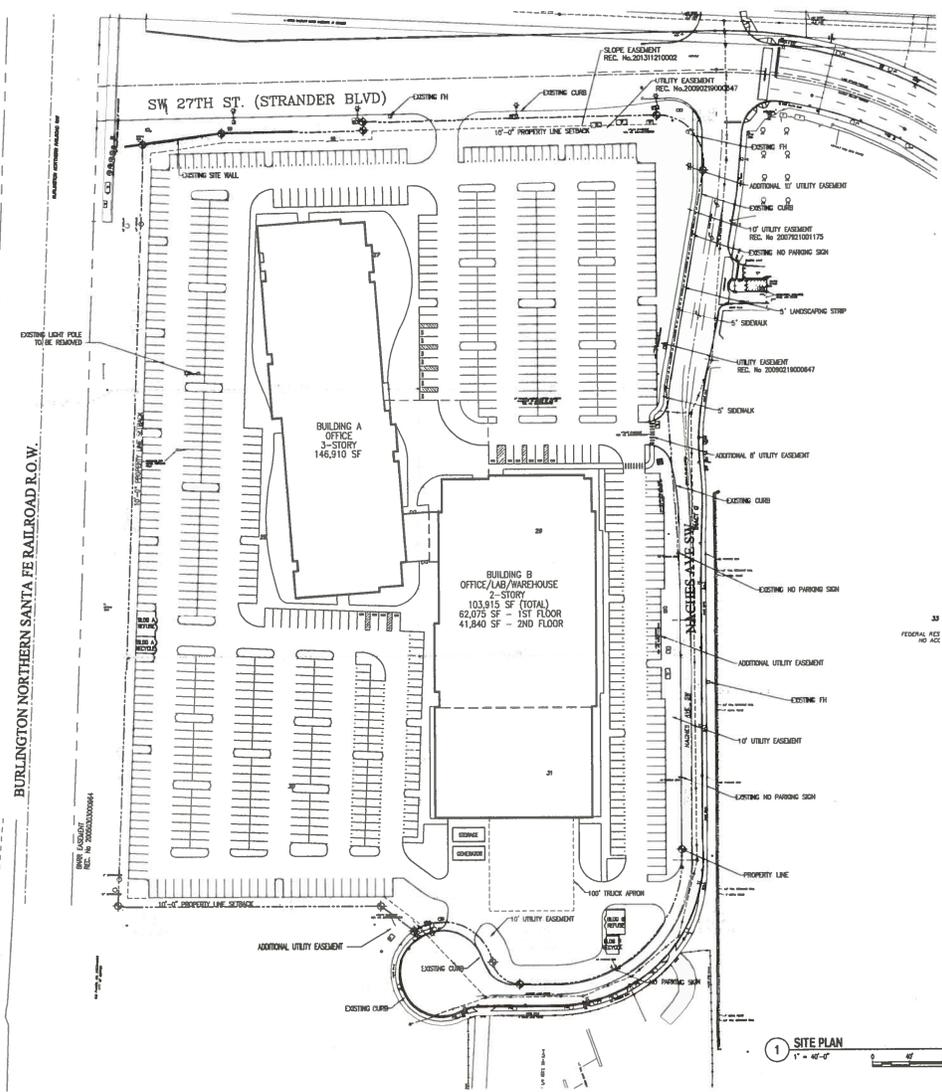
1

NEIGHBORHOOD DETAIL MAP

1" = 100'



NORTH



SITE NOTES:

PARKING PROVIDED

PARKING - COMPACT STALLS	171 (225)
STANDARD STALLS	602 (785)
ADA STALLS	17 (25)
TOTAL PARKING STALLS	790

PARKING REQUIREMENTS

ADMINISTRATIVE BUILDING	SF PROVIDED	
OFFICE, GENERAL:	146,910 SF	
MANUFACTURING & FABRICATION, LABORATORIES, AND ASSEMBLY AND/OR PACKAGING OPERATIONS:	0 SF	70 RECORD AREA - BATE 100
WAREHOUSES AND INDOOR STORAGE BUILDINGS:	0 SF	80000 BATTLE WASHINGTON BISHOP
DETACHED BUILDING	SF PROVIDED	
OFFICE, GENERAL:	41,975 SF	
MANUFACTURING & FABRICATION, LABORATORIES, AND ASSEMBLY AND/OR PACKAGING OPERATIONS:	41,940 SF	
WAREHOUSES AND INDOOR STORAGE BUILDINGS:	20,400 SF	
COMBINED BUILDING AREA	250,225 SF	

Based on the parking ratios in Section 16.04 of the City of Renton Municipal Code 4-4-001.01A, the minimum and maximum stall counts for the SF numbers provided above are as follows:

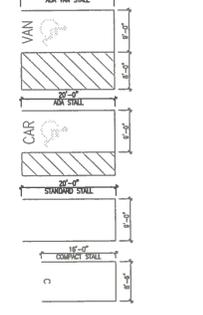
MINIMUM BUILDING USE

OFFICE, GENERAL:	383	383
MANUFACTURING & FABRICATION, LABORATORIES, AND ASSEMBLY AND/OR PACKAGING OPERATIONS:	63	42
WAREHOUSES AND INDOOR STORAGE BUILDINGS:	14	14
TOTAL MIN. PARKING STALLS	460	441

LANDSCAPE REQUIREMENTS

SITE AREA:	511,888 SF
COMBINED BUILDING FOOTPRINT (INCLUDES CORNER STRUCTURES):	110,367 SF (21%)
PERMITTED IMPERVIOUS SURFACES	314,488 SF (61%)
PARKING LOT AREA:	282,263 SF
HAZARDOUS:	33,968 SF
PERMIER LANDSCAPING	51,567 SF (10%)
INTERIOR LANDSCAPING:	34,845 SF (7%)
EXISTING IMPERVIOUS SURFACES	415

Based on the parking ratios in Section 16.04 of the City of Renton Municipal Code 4-4-001.01A, the minimum and maximum stall counts for the SF numbers provided above are as follows:



TITLE
LONGACRES BUSINESS CENTER
 SW 27TH ST. & NACHEB AVE SW
 RENTON, WA

COMBATANT

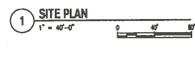
ISSUED:

MARK	DATE	DESCRIPTION
1	3/11/2015	QUASH PRICING PACKAGE

PROJECT NUMBER: PRC15000000
DRAWN BY: JF
ISSUE DATE: 03/09/15

REVISION

SHEET TITLE / NUMBER
SITE PLAN
A1.1



20050504000673

V.228 P.022

DWG. NUMBER

BOEING LONGACRES PROPERTY
SECOND AMENDED BINDING SITE PLAN

S.W. 1/4 SEC. 24, T.23N., R.4E., W.M.
S.E. 1/4 SEC. 24, T.23N., R.4E., W.M.
N.W. 1/4 SEC. 25, T.23N., R.4E., W.M.
N.E. 1/4 SEC. 25, T.23N., R.4E., W.M.

CITY OF RENTON, KING COUNTY, WASHINGTON

THIS SURVEY SUPERCEDES PREVIOUS BINDING SITE PLAN RECORDED UNDER RECORDING NO. 20040108000164

DEDICATIONS:

KNOW ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF INTEREST IN THE LAND HEREIN DESCRIBED DO HEREBY MAKE A BINDING SITE PLAN PURSUANT TO CHAPTER 35.17 R.C.M. AND DECLARE THE BINDING SITE PLAN TO BE A GRAPHIC REPRESENTATION OF SAME AND THAT SAID BINDING SITE PLAN IS MADE WITH FREE CONSENT AND IN ACCORDANCE WITH THE DESIRE OF THE OWNERS.

IN WITNESS WHEREOF WE SET OUR HANDS AND SEALS

THE BOEING COMPANY, A DELAWARE CORPORATION
Colin M. Janda

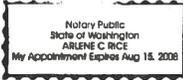
4-25-2005
DATE

STATE OF WASHINGTON)
COUNTY OF KING) SS

ON THIS DAY PERSONALLY APPEARED BEFORE ME Colin M. Janda TO BE AN ATTORNEY IN FACT OF THE BOEING COMPANY, THE CORPORATION DESCRIBED IN THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION FOR THE USES AND PURPOSES HEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE THE SAID INSTRUMENT ON BEHALF OF THE CORPORATION.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS 25th DAY OF April, 2005

Arlene C. Rice
SIGNATURE OF NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, RESIDING AT Renton
Arlene C. Rice
PRINTED NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES Aug 15, 2008
DATED: 4/25/05



LONGACRES PARK, INC. A WASHINGTON CORPORATION
Colin M. Janda

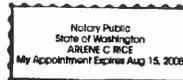
4-25-2005
DATE

STATE OF WASHINGTON)
COUNTY OF KING) SS

ON THIS DAY PERSONALLY APPEARED BEFORE ME Colin M. Janda TO BE AN ATTORNEY IN FACT OF LONGACRES PARK, INC., THE BOEING COMPANY DESCRIBED IN THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE THE SAID INSTRUMENT ON BEHALF OF THE CORPORATION.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS 25th DAY OF April, 2005

Arlene C. Rice
SIGNATURE OF NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, RESIDING AT Renton
Arlene C. Rice
PRINTED NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES Aug 15, 2008
DATED: 4/25/05



LAND SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS BINDING SITE PLAN OF BOEING LONGACRES IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTIONS 24 AND 25, TOWNSHIP 23 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN AND THAT THE COURSES AND DISTANCES ARE SHOWN CORRECTLY THEREON.

John J. Janda 4/23/05
PROFESSIONAL LAND SURVEYOR
CERTIFICATION NO. 33148

APPROVALS:

ADMINISTRATOR OF PLANNING, BUILDING, PUBLIC WORKS

EXAMINED AND APPROVED PER RCW 35.17.150 (1) THIS 27 DAY OF April 2005
Neil Wetly for Greg Zimmerman
ADMINISTRATOR, CITY OF RENTON

KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS 3rd DAY OF May 2005
Scott Noble
KING COUNTY ASSESSOR
Michael Homan
DEPUTY KING COUNTY ASSESSOR
ACCOUNT NUMBERS 088570-0000 TO 088570-0400

KING COUNTY FINANCE DIVISION CERTIFICATION

I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID, THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION OF ANY OF THE PROPERTY HEREIN CONTAINED DEDICATED STREETS, ALLEYS OR FOR ANY OTHER PUBLIC USE, ARE PAID IN FULL THIS 3rd DAY OF May 2005

Ken Cow
DIRECTOR, KING COUNTY OFFICE OF FINANCE
John C. Metten
DEPUTY DIRECTOR, KING COUNTY OFFICE OF FINANCE



DECLARATION OF COVENANT:

THE OWNERS OF THE LAND EMBRACED WITHIN THIS BINDING SITE PLAN, IN RETURN FOR THE BENEFIT TO ACCRUE FROM THIS SUBMISSION, BY SIGNING HEREON COVENANTS AND AGREE TO CONVEY THE BENEFICIAL INTEREST IN THE NEW EASEMENTS SHOWN ON THIS BINDING SITE PLAN TO ANY AND ALL FUTURE PURCHASERS OF THE LOTS, OR OF ANY SUBDIVISIONS THEREOF. THIS COVENANT SHALL RUN WITH THE LAND AS SHOWN ON THIS BINDING SITE PLAN.

RECORDING CERTIFICATE:

RECORDING NO: 20050504000673
FILED FOR RECORD AT THE REQUEST OF THE CITY OF RENTON THIS 04 DAY OF May 2005 AT 11:19 AM AND RECORDED IN VOLUME 231 OF PLATS PAGES 022-28 RECORDS OF KING COUNTY, WASHINGTON.

DIVISION OF RECORDS AND ELECTIONS

MANAGER
SUPERINTENDENT OF RECORDS

LUA-02-022-BSP IND-35-0114

117 SHEET	SURVEYED BY: WHP	CHK'D BY:		BOEING REALTY CORPORATION BOEING LONGACRES PROPERTY SECOND AMENDED BINDING SITE PLAN	
	DRAWN BY: KDM/CPC	APPROVED BY:		RENTON, KING WASHINGTON	
LAST FILED: 04/22/05	FILED DATE: 04/22/05			SCALE:	PROJECT NO: 32269
DATE BY REV#	REVISION	CHK'D BY			DRAWING FILE NAME: 32269-Surv-Bs01

20050504000673 V.228 P.023

BOEING LONGACRES PROPERTY

SECOND AMENDED BINDING SITE PLAN

LEGAL DESCRIPTION:

PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-150572-WAL, DATED APRIL 19, 2005 AT 7:30 A.M.

LOTS 1 THROUGH 35, INCLUSIVE, & TRACTS A, B, C, D, E & F OF BOEING LONGACRES PROPERTY, AMENDED BINDING SITE PLAN, RECORDED JANUARY 8, 2004 IN VOLUME 219 OF PLATS AT PARCELS R1 THROUGH T3, INCLUSIVE, UNDER RECORDING NO. 200401000184, IN KING COUNTY, WASHINGTON.

S.W. 1/4 SEC. 24, T.23N., R.4E., W.M.
S.E. 1/4 SEC. 24, T.23N., R.4E., W.M.
N.W. 1/4 SEC. 25, T.23N., R.4E., W.M.
N.E. 1/4 SEC. 25, T.23N., R.4E., W.M.

EASEMENTS, COVENANTS & AGREEMENTS AFFECTING SUBJECT PROPERTY:

SCHEDULE B:

REFERENCES BELOW TO LOTS AND TRACTS REFER TO THE AMENDED BINDING SITE PLAN AS RECORDED UNDER RECORDING NO. 200401000184. REFERENCE CONTAINED IN THE FULL REPORT NOT SHOWN BY SW ARE EITHER NOT SURVEY RELATED OR DO NOT AFFECT SUBJECT PROPERTY.

- 46. AF 1230320, POWER, AFFECTS: HAROLD A. UNABLE TO PLOT
- 51. AF 413087, BOW LAKE PIPELINE P.W. AS SHOWN
- 52. AF 4404710, POWER, AFFECTS: PARKS & JOHNSON TO PLOT
- 54. AF 5398225, POWER, AFFECTS: LOTS 9, 10, 14, 18, TRACT C
- 55. AF 5412045, POWER, AFFECTS: LOTS 9, 10, 14, 18, TRACT C
- 56. AF 3640872, POWER, AFFECTS: LOT 1
- 57. AF 3927062/8555972, ULYMICH GAS PIPELINE, AFFECTS LOTS 9, 10, 14, 18, TRACT C
- 64. AF 6282962, SANITARY SEWER, AFFECTS LOTS 6, 7, 9, 14, 18, TRACT C, SEWER USES FOR FALL, W. ESDU.
- 67. AF 180328694, POWER, AFFECTS LOTS 1-11
- 67. AF 801225373, WATER/SANITARY SEWER, AFFECTS LOTS 1-4
- 68. AF 821250487, WATER/SANITARY SEWER, AFFECTS LOTS 1-11
- 71. AF 841207046, WATER/SANITARY SEWER, AFFECTS LOT 17
- 72. AF 860214083, POWER, AFFECTS: LOTS 9, 10, 14, 18, TRACT C
- 74. AF 881170303, POWER/TELEPHONE, AFFECTS LOT 15
- 75. AF 881010008/00128432, WATER/SANITARY SEWER, AFFECTS LOTS 10-22
- 76. AF 2001012400403, TELEPHONE, AFFECTS LOTS 1-2, 7
- 77. AF 750410332/701301025, MINERAL, WATER, AFFECTS LOTS 1-2, 7
- 78. AF 830406079, 000-000-1 UNRECORDED DRAINAGE DITCH AGREEMENT, UNABLE TO PLOT
- 80. AF 840010546, ACCESS, RESTRICTIVE COVENANTS AND BUILDING SETBACKS
- 85. AF 630422192/931101168, SANITARY SEWER, AFFECTS LOTS 23, 28, TRACT E
- 100. AF 940520087, AGREEMENT FOR TRANSFER WATER SERVICE AND PROVISION FOR SECONDARY FIRE SERVICE
- 102. AF 18550705001298, RESTRICTIVE COVENANTS FOR SOUTH MARSH AREA (TR. E)
- 103. LEAS. BETWEEN LONGACRES PARK AND THE BOEING CO., REC. NO. 976730128
- 104. AF 871212172, ACCESS, AFFECTS LOTS 23 AND 24
- 106. AF 9842100307, WATER, AFFECTS LOTS 14 AND 20
- 107. AF 9812103310, STORM, AFFECTS LOTS 11 AND 20
- 108. AF 990521140, PWR, ACCESS, AFFECTS LOT 23, UNABLE TO PLOT
- 109. AF 8901212193, POWER, AFFECTS LOT 26
- 110. AF 8903231489, WATER, AFFECTS LOT 23
- 112. AF 9521231152, PARKING, INGRESS/EGRESS, AFFECTS LOTS 1-10
- 116. AF 979261706, RESTRICTIVE COVENANT REGARDING SDC FEE COLLECTION
- 117. AF 880428918, POWER, AFFECTS LOTS 23 AND 26
- 119. AF 9903231472, WATER, AFFECTS LOTS 11-13, 21, 22
- 120. AF 2001012400008, DEVELOPMENT AGREEMENT
- 121. AF 2002051000547, POWER, AFFECTS TRACT E
- 122. AF 20030221002404, COVENANTS, EASEMENTS, RESTRICTIONS ON BUILDING SITE PLAN
- 123. AF 20030221002405, DEVELOPMENT AGREEMENT
- 124. AF 20010124000403, TELEPHONE (ONES), AFFECTS LOTS 1-5, 7
- 125. AF 20030221002404 AND 200401000184 COVENANTS, EASEMENTS, RESTRICTIONS, RESTRICTIONS ON BUILDING LONGACRES PROPERTY BUILDING SITE PLAN
- 126. AF 9803250371, ROAD, PAVILION DEED, OAKDALE FROM 18TH TO 27TH.

GENERAL PROJECT DESCRIPTION:

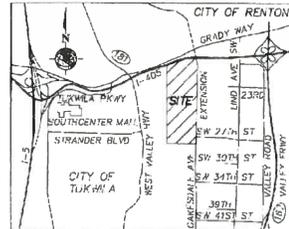
DEVELOPER: BOEING REALTY CORPORATION
1107 7TH AVENUE
3076 160TH AVENUE SW
BELLEVUE, WA 98008
PHONE: (425) 865-1111

SURVEYOR/ENGINEER: WAH MACHINERY
3350 MONTE VILLO PARKWAY
BOZEMAN, WA 99021
PHONE: (425) 951 4800

ARCHITECT: H3114714 OBATA I KASSABUM INC
ARCHITECTURE, ENGINEERING, PLANNING
INTERIORS, GRAPHICS, DESIGN INC.

ZONING: COMMERCIAL OFFICE ZONE (CC)
TOTAL: 6,688,233 S.F. 153.8 ACRES

BUILDING USES: OFFICE, BUSINESS, PARK

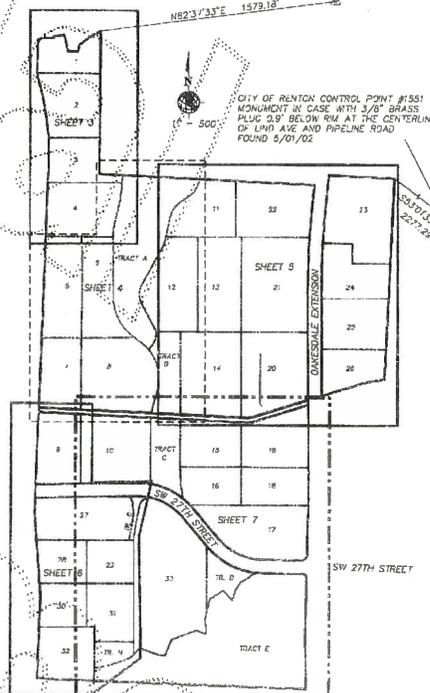


VICINITY MAP
NOT TO SCALE

CITY OF RENTON CONTROL POINT #1891
3 1/2" DIA. BRASS DISK WITH PUNCH
STAMPED "CITY OF RENTON 84"
SET ON EAST END CONCRETE MAILING ON
NORTH SIDE SW 1514 STREET BRIDGE
FOUND 4/26/02

LOT AREA TABLE

LOT/TRACT	SQ. FT.	ACRES
LOT 1	79,744	2.31
LOT 2	180,354	4.18
LOT 3	106,460	2.51
LOT 4	168,948	3.88
LOT 5	168,436	3.87
LOT 6	153,729	3.52
LOT 7	127,485	2.93
LOT 8	235,375	5.40
LOT 9	136,334	3.13
LOT 10	206,164	4.73
LOT 11	142,249	3.27
LOT 12	200,331	4.60
LOT 13	183,930	4.22
LOT 14	226,202	5.19
LOT 15	125,087	2.87
LOT 16	106,111	2.30
LOT 17	221,707	5.09
LOT 18	113,810	2.61
LOT 19	155,930	3.57
LOT 20	228,655	5.25
LOT 21	276,701	6.42
LOT 22	182,889	4.18
LOT 23	258,834	5.97
LOT 24	132,491	3.04
LOT 25	147,759	3.39
LOT 26	105,350	2.42
LOT 27	184,617	4.24
LOT 28	93,284	2.14
LOT 29	40,838	0.93
LOT 30	89,672	2.04
LOT 31	116,344	2.67
LOT 32	120,965	2.79
LOT 33	414,602	9.52
TRACT A	525,807	12.04
TRACT B	93,798	2.15
TRACT C	83,783	1.91
TRACT D	35,756	0.82
TRACT E	125,759	2.88
TRACT F	12,092	0.28
TRACT H	37,026	0.85



SHEET LAYOUT

HORIZONTAL DATUM:

THE HORIZONTAL DATUM FOR THIS PROJECT IS AN ASSUMED HISTORICAL DATUM (BOEING LONGACRES PER THE DEVELOPMENT AGREEMENT BETWEEN THE CITY OF RENTON AND THE BOEING REALTY CORPORATION).

CITY OF RENTON SURVEY CONTROL:

TIES TO CITY OF RENTON SURVEY CONTROL NETWORK POINTS:
NORTH EAST CORNER OF LOT 1 TO CITY OF RENTON POINT #1891: N82°33'31" 1579'18"
NORTH EAST CORNER OF LOT 1 TO CITY OF RENTON POINT #1892: S89°02'33" 3447'18"
NORTH EAST CORNER LOT 23 TO CITY OF RENTON POINT #1893: W18°25'27" 1582'54"
NORTH EAST CORNER LOT 23 TO CITY OF RENTON POINT #1894: S33°01'31" 2297'26"

NOTES:

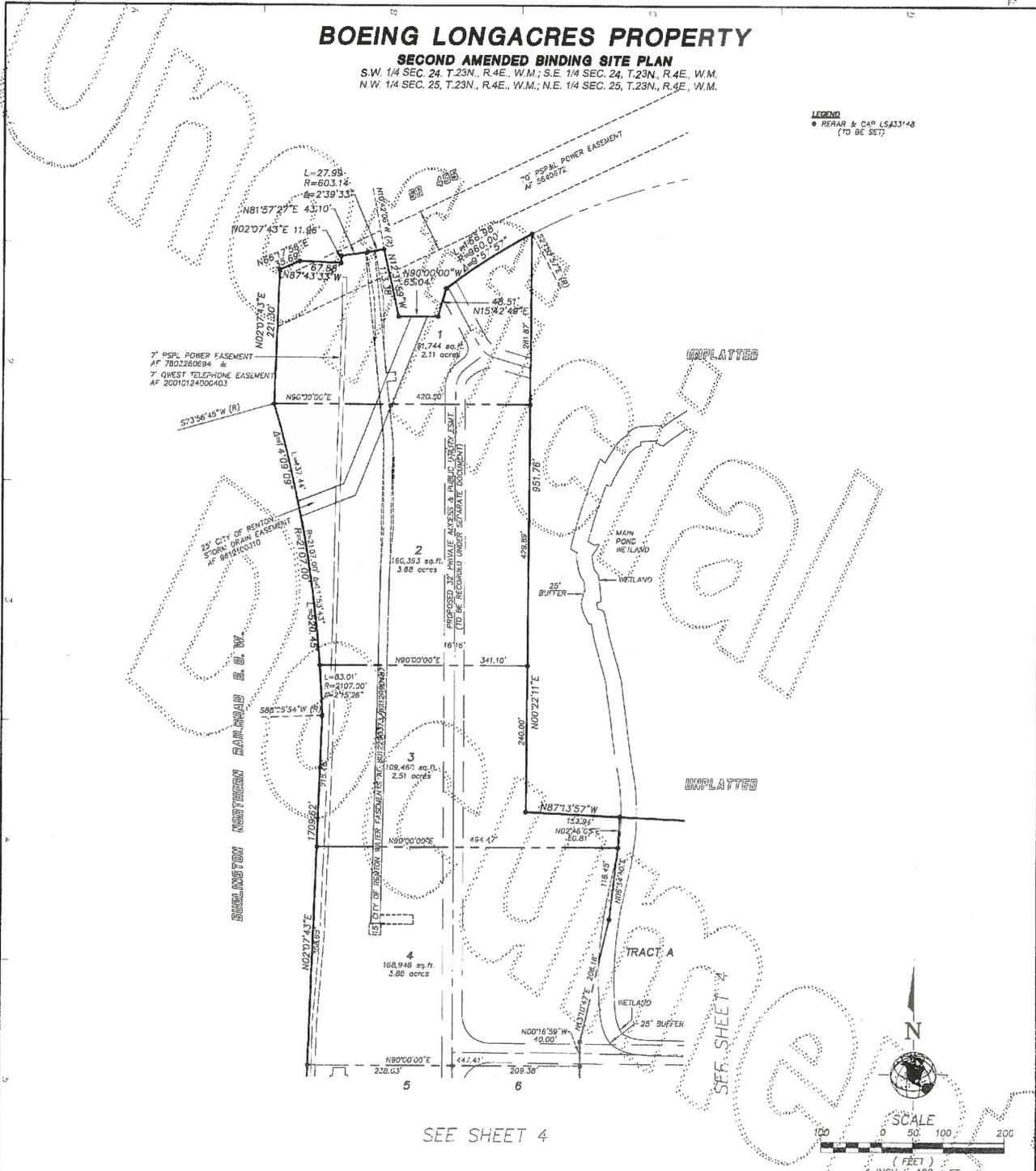
1. BASIS OF BEARINGS FOR THIS SURVEY IS N 01°02'08" E ALONG THE WEST LINE OF THE SOUTH-EAST QUARTER OF THE NORTH-EAST QUARTER OF SECTION 25, TOWNSHIP 21 NORTH, RANGE 4 EAST, W.M., AS SHOWN ON THE RECORD OF SURVEY FOR LONGACRES, RECORDED UNDER RECORDING NUMBER 8601028913.
2. REFERENCED THE FOLLOWING SURVEYS FOR SECTION SUBMISSION AND BOUNDARY INFORMATION:
AF 520180002, PARCEL EXHIBIT FOR LONGACRES
AF 5504060139, DEED OF DEDICATION FOR SW 19TH ST.
AF 8601028913, RECORD OF SURVEY FOR LONGACRES
AF 8601028917, DEED OF DEDICATION FOR OAKDALE AVE. SW
AF 20000630800001, RECORD OF SURVEY FOR OAKDALE AVE. SW RIGHT-OF-WAY
3. FIELD MEASUREMENTS FOR THIS MAP WERE PERFORMED WITH WILD TOTAL STATIONS AND WERE EXCEPTED TO THE ACCURACY OF 1:10,000. ALL PRIMARY MEASUREMENT EQUIPMENT HAS BEEN COMPARED AND ADJUSTED TO A NATIONAL GEODETIC CALIBRATED BASELINE, WITHIN THE LAST YEAR.
4. THE WETLAND AND BUFFER DELINEATIONS SHOWN ARE AS PROVIDED BY SURVEYOR CHIEF, AND THE WETLAND CONSERVATION AREA SHOWN AT THE SOUTH END OF THE SITE IS PER THE DEVELOPMENT AGREEMENT.
5. VEHICLE AND PEDESTRIAN CIRCULATION IMPROVEMENT STANDARDS: THE DEVELOPMENT OF THE LOTS CREATED HEREIN SHALL PROVIDE SUITABLE VEHICULAR AND PEDESTRIAN CIRCULATIONS TO PUBLIC RIGHTS-OF-WAY WITH THE DEVELOPMENT OF THE SITE AS FOLLOWS:
- PEDESTRIAN CONNECTIONS SHALL BE PROVIDED FROM BUILDING ENTRANCES WITHIN EACH INDIVIDUAL PARCEL TO A PUBLIC RIGHT-OF-WAY.
- PRIVATE ROADWAYS SHALL BE CONSTRUCTED WITH A MINIMUM PAVEMENT WIDTH OF 22 FEET PLUS CURB AND SIDEWALK ON ONE SIDE.
THE ADMINISTRATOR, OR APPOINTED DESIGNER, MAY APPROVE THE MODIFICATION OF THESE STANDARDS IF THE APPLICANT IS ABLE TO DEMONSTRATE EQUIVALENT STANDARDS WOULD BE ACCOMPLISHED AND APPROPRIATE JUSTIFICATION IS GIVEN.
- THE CITY RESERVES THE RIGHT TO REQUIRE REASONABLE LANDSCAPE EXHIBITS/PLANS ALONG STREET FRONTAGES IN ORDER TO ESTABLISH A CONSISTENT STREETSCAPE THROUGHOUT THE SITE.
6. INSTALLATION OF IMPROVEMENTS:
ALL REQUIRED STREET, UTILITY AND DRAINAGE IMPROVEMENTS NECESSARY FOR THE SPECIFIC DEVELOPMENT MUST BE INSTALLED TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DIVISION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN THE LOTS CREATED HEREIN, UNLESS OTHERWISE INSTALLED IN ADVANCE OF BUILDING CONSTRUCTION, IN WHICH CASE APPROVAL OF A SITE PREPARATION/CONSTRUCTION PERMIT BY THE DEVELOPMENT SERVICES DIVISION WILL BE NECESSARY. REQUIRED ACCESS AND UTILITY IMPROVEMENTS NECESSARY TO SERVE ANY LOT OR LOTS ASSOCIATED WITH A PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE CODE REQUIREMENTS INCLUDING BUT NOT LIMITED TO STANDARDS AS ESTABLISHED UNDER CHAPTER 6, STREET AND UTILITY STANDARDS, CONTAINED WITHIN TITLE IV, DEVELOPMENT REGULATIONS, OF THE RENTON MUNICIPAL CODE.
7. MAINTENANCE PROVISIONS:
THE OWNERS OF THE LOTS CREATED HEREIN HAVE THE RIGHT TO ENTER ANY EASEMENT LOCATED WITHIN OTHER PARCELS IN ORDER TO INSPECT AND/OR REPAIR EXISTING COMMON PRIVATE UTILITY AND ACCESS IMPROVEMENTS.
8. TRACTS A-F AND H:
TRACTS A, C, D, E, G AND H ARE TO REMAIN IN PRIVATE OWNERSHIP BY THE BOEING CORPORATION OR ITS ASSIGNS, WHICH SHALL BE RESPONSIBLE FOR MAINTENANCE OF SAID TRACTS.

LUA-02-022-BSP LND-35-0114

<p>217 SHEET</p>	<p>SURVEYED BY: JHP DRAWN BY: KMM/CPG DATE: 04/22/05 PLOT DATE: 04/22/05</p>		<p>BOEING REALTY CORPORATION BOEING LONGACRES PROPERTY SECOND AMENDED BINDING SITE PLAN</p>	<p>RENTON, KING WASHINGTON SCALE: PROJECT NO. 32269 DRAWING TITLE NAME: 32269-Surv-Bs01</p>	
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20050504000673 V.228 P.024

DWG. AN/2X



LUA-02-022-BSP LND-35-0114

3/7 SHEET

SURVEYED BY: WHP	CHECKED BY:
DRAWN BY: KDM/CPC	APPROVED BY:
LAST EDIT: 04/22/05	PLOT DATE: 04/22/05
DATE BY REV#	REVISION
	DRAWN



BOEING REALTY CORPORATION
 BOEING LONGACRES PROPERTY
SECOND AMENDED BINDING SITE PLAN

RENTON, KING WASHINGTON

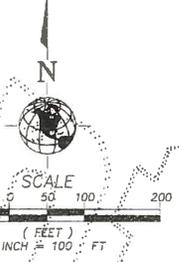
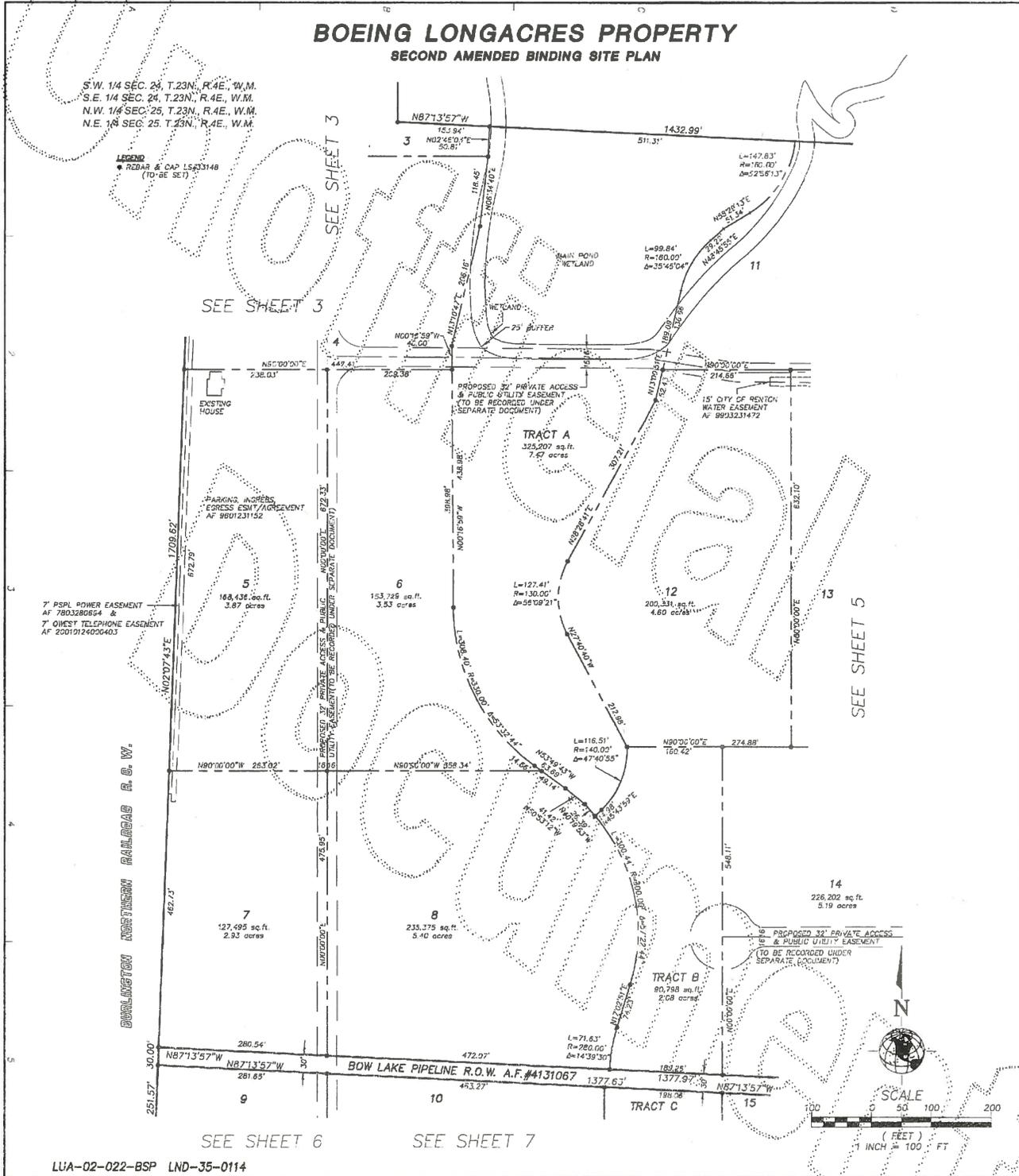
SCALE: 1" = 100'
 PROJECT NO. 32269
 DRAWING FILE NAME: 32269-Surv-Bs01

W&H PACIFIC
 3350 Monte Villa Parkway
 Seattle, Washington 98122-1978
 (206) 461-6000
 (206) 461-6009
 www.w&hpacific.com

30 Years • Engineers • Surveyors • Professional Architects

20050504000673 V.228 P.025

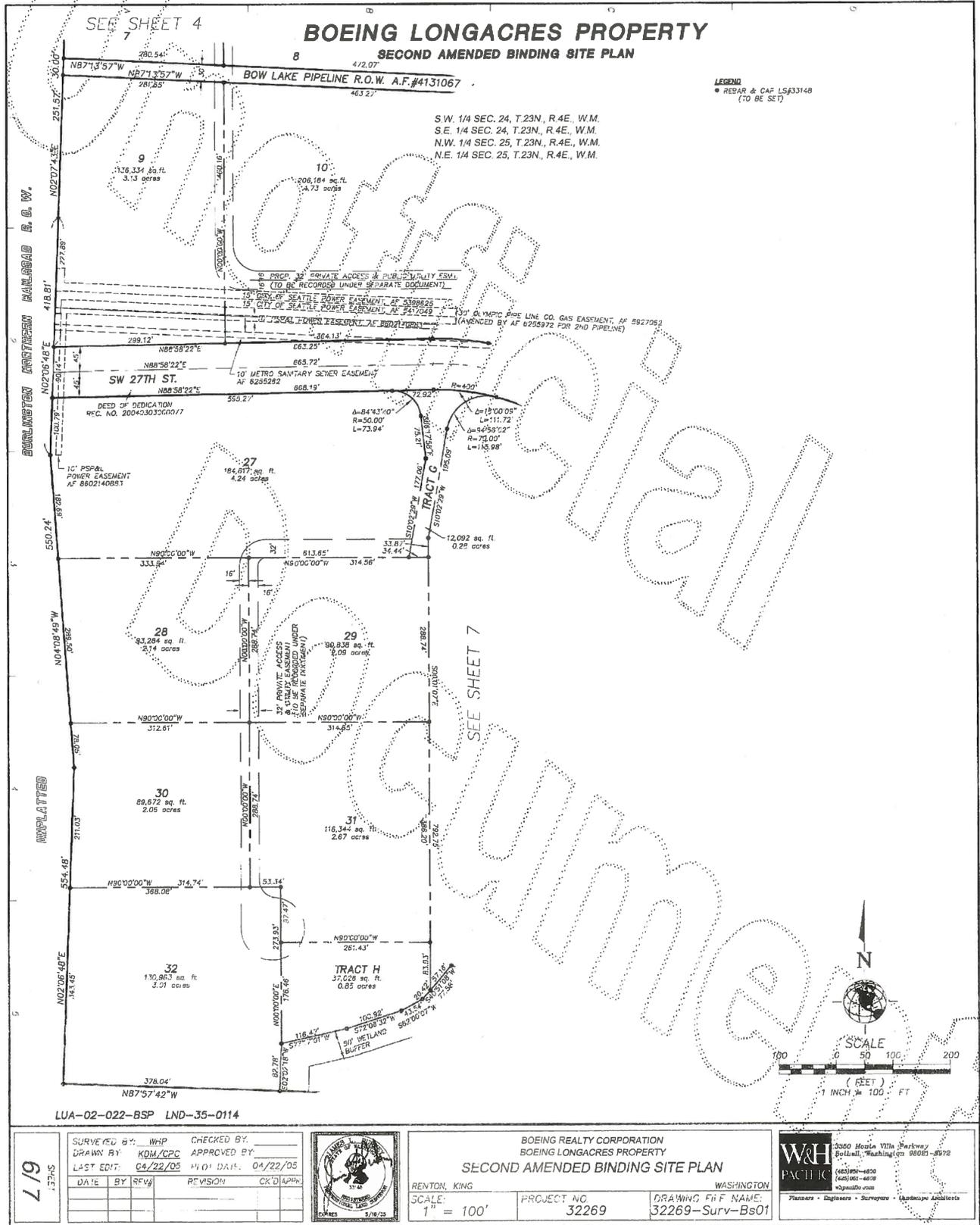
DWG. INDEX



LUA-02-022-BSP LND-35-0114

<p>4/7 SHEET</p>	SURVEYED BY: WMP DRAWN BY: KOM/KPC LAST EDIT: 04/22/05 DATE BY: REV: SEWSIGN: C/D APPR:		BOEING REALTY CORPORATION BOEING LONGACRES PROPERTY SECOND AMENDED BINDING SITE PLAN		<p>3350 White Villa Parkway Bothell, Washington 98021-8978 (425)861-6800 (425)861-6806 whpacific.com Planners • Engineers • Surveyors • Landscape Architects</p>
	RENTON, KING WASHINGTON		PROJECT NO. 32269	DRAWING FILE NAME: 32269-Sur-Bs01	

20050504000673 V.228 P.027



7/7 SHEET

SURVEYED BY: WHP	CHECKED BY:				
DRAWN BY: KDM/CPC	APPROVED BY:				
LAST EDIT: 04/22/05	W.D. DATE: 04/22/05				
DATE	BY	REV#	REVISION	CK'D	APP#



BOEING REALTY CORPORATION
BOEING LONGACRES PROPERTY
SECOND AMENDED BINDING SITE PLAN

RENTON, KING WASHINGTON

SCALE: 1" = 100'

PROJECT NO: 32269

DRAWING FILE NAME: 32269-Surv-Bs01

W&H PACIFIC

3360 Meade Villa Parkway
Bellingham, Washington 98005-8978

(425)850-4830
(425)851-4439
w&hpacific.com

Planners • Engineers • Surveyors • Landscape Architects

M E M O R A N D U M

DATE: April 6, 2015

TO: Clark H. Close, Associate Planner

FROM: Steve Lee, Development Engineering Manager 

SUBJECT: **Traffic Concurrency Test – Longacres Business Center;
File No. LUA15-000076, ECF, SA-H, MOD**

Longacres Business Center is requesting Hearing Examiner Site Plan Review, SEPA Environmental Review, and a Street Modification for two (2) standalone buildings totaling 250,825 square feet (SF). The vacant 11.8 acre site is located at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. Site access will be served from SW 27th St and Naches Ave SW. The site plan includes 790 parking stalls.

The proposal includes four (4) separate access driveways from both SW 27th St and Naches Ave SW. The site access driveway on SW 27th St is restricted to right-in, right-out only. The remaining three (3) driveways are from Naches Ave SW. Truck ingress/egress will be provided at the southernmost access at the existing cul-de-sac.

The Traffic Impact Analysis was completed by TENW (dated February 4, 2015; Exhibit 14). The memorandum included information that the proposed project is estimated to generate a total of 2,498 new weekday daily trips with 349 new trips occurring during the weekday AM peak hour (307 entering, 42 exiting), and 334 new trips occurring during the weekday PM peak hour (57 entering, 277 existing). Based on the results of a traffic operations analysis at two (2) off-site study intersections (SW 27th St and Naches Ave SW/SW 27th St and Oakesdale Ave SW), the study intersections currently operate at LOS A and B, and are expected to continue to operate at LOS A and B in 2017 with or without the proposed project. The results of the site

access operation analysis show that the movements exiting the site at all four driveways are expected to operate at LOS A in 2017 with the proposed project and no significant adverse transportation impacts are anticipated with the proposed Longacres Business Center development. The proposed project passes the City of Renton Traffic Concurrency Test per RMC 4-6-070.D as follows:

Traffic Concurrency Test Criteria	Pass
Implementation of citywide Transportation Plan	Yes
Within allowed growth levels	Yes
Project subject to transportation mitigation or impact fees	Yes
Site specific street improvements to be completed by project	Yes
Traffic Concurrency Test Passes	

Evaluation of Test Criteria

Implementation of citywide Transportation Plan: As shown on the attached citywide traffic concurrency summary, the city’s investment in completion of the forecast traffic improvements are at 130% of the scheduled expenditure through 2013.

Within allowed growth levels: As shown on the attached citywide traffic concurrency summary, the calculated citywide trip capacity for concurrency with the city adopted model for 2014 is 93,185 trips, which provides sufficient capacity to accommodate the 2,498 additional trips from this project. A resulting 90,687 trips are remaining.

Project subject to transportation mitigation or impact fees: The project will be subject to transportation impact fees at time of building permit for each new building.

Site specific street improvements to be completed by project: The project will be required to complete all internal and frontage street improvements for the plat prior to recording. Any additional off-site improvements identified through SEPA or land use approval will also be completed prior to final occupancy.

Background Information on Traffic Concurrency Test for Renton

The City of Renton Traffic Concurrency requirements for proposed development projects are covered under Renton Municipal Code (RMC) 4-6-070. The specific concurrency test requirement is covered in RMC 4-6-070.D, which is listed for reference:

D. CONCURRENCY REVIEW PROCESS:



1. Test Required: *A concurrency test shall be conducted by the Department for each nonexempt development activity. The concurrency test shall determine consistency with the adopted Citywide Level of Service Index and Concurrency Management System established in the Transportation Element of the Renton Comprehensive Plan, according to rules and procedures established by the Department. The Department shall issue an initial concurrency test result describing the outcome of the concurrency test.*

2. Written Finding Required: *Prior to approval of any nonexempt development activity permit application, a written finding of concurrency shall be made by the City as part of the development permit approval. The finding of concurrency shall be made by the decision maker with the authority to approve the accompanying development permits required for a development activity. A written finding of concurrency shall apply only to the specific land uses, densities, intensities, and development project described in the application and development permit.*

3. Failure of Test: *If no reconsideration is requested, or if upon reconsideration a project fails the concurrency test, the project application shall be denied by the decision maker with the authority to approve the accompanying development activity permit application.*

The Concurrency Management System established in the Transportation Element on page XI-65 of the Comprehensive Plan states the following:

Based upon the test of the citywide Transportation Plan, consideration of growth levels included in the LOS-tested Transportation Plan, payment of a Transportation Mitigation Fee, and an application of site specific mitigation, development will have met City of Renton concurrency requirements.

Denis Law
Mayor

City of
Renton



April 7, 2015

Community & Economic Development Department
C.E. "Chip" Vincent, Administrator

Ms. Molly Ryan Carson
Ryan Companies US, Inc.
3900 East Camelback Road, Suite 100
Phoenix, AZ 85018-2653

**RE: Street Modification Request – for Naches Avenue NW within the Longacres area
File No. LUA15-000076, ECF, SA-H, MOD**

Dear Ms. Ryan:

The City of Renton has reviewed your street modification request to deviate from the normal code required street frontage improvements associated with your proposed project. Per RMC 4-6-060 for commercial and industrial zoned areas, the proposed project would normally be required to provide 8 feet of landscape width, 6 feet of sidewalk, curb and gutter, and provide a ROW width of 69-feet for two lane roads.

Your modification request, dated March 25, 2015, is requesting the street frontage improvements along Naches Avenue NW from the intersection of SW 27th Street and Naches Avenue SW to the first Naches Avenue SW driveway from the intersection be limited to a 5-foot sidewalk and 5-foot landscape buffer without any pedestrian connectivity south of the driveway.

The City of Renton is in support of the 5-foot sidewalk and 5-foot landscape proposed modification subject to the following condition. Provide the 5-foot sidewalk and 5-foot landscape strip extension along Naches Avenue SW from the first driveway to the second driveway located to the southeast of Building B. This extension would allow truck drivers and workers in the southeast portion of Building B a safe pedestrian connection to cross the parking area and access the public ROW sidewalk along Naches Avenue SW.

In summary, staff supports the request to modify from the required standards in accordance with criteria in RMC 4-9-250D, on the condition that the 5-foot sidewalk and 5-foot landscape strip be extended to the second driveway along Naches.

If you have further questions regarding street improvements for this project, please contact Clark Close at 425-430-7289 or cclose@rentonwa.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Ting Lee".

Steve Ting Lee, P.E.
Development Engineering Manager

Cc: C.E. "Chip" Vincent, CED Administrator
Jennifer Henning, Planning Director
Clark Close, Associate Planner
Vicki Grover, Civil Engineer II

EXHIBIT 27

**ENVIRONMENTAL (SEPA) DETERMINATION OF NON-SIGNIFICANCE
- MITIGATED (DNS-M)**

PROJECT NUMBER: LUA15-000076 ECF, SA-H
APPLICANT: Molly Carson, Ryan Companies US, Inc.
PROJECT NAME: Longacres Business Center

PROJECT DESCRIPTION: The applicant, Ryan Companies U.S. Inc., is requesting Hearing Examiner Site Plan Review and SEPA Environmental Review for two (2) standalone buildings totaling 250,825 square feet. The vacant 11.8 acre site, called Longacres Business Center, consists of five (5) parcels (APN 088670-0270, -0280, -0290, -0300, and -0310) at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. The site is part of the original 158 acres of property known as the Longacres Office Park. Site access will be served through a single right in/right out only to SW 27th St, two entrances along Naches Ave SW, and a fourth off the existing cul-de-sac. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The site contains High Seismic Hazards. The site is not in the 100-year flood zone and currently no wetlands, streams, lakes or critical habitats are identified on the property. The applicant is proposing to strip the site of all vegetation. One of the original nine (9) trees, on or near the southwest property line, was identified on the landscaping plan as being retained. The site will be replanted with 158 deciduous street trees and 71 evergreen trees.

The applicant submitted a Geotechnical Study by Terra Associates, Inc. (dated January 26, 2015); a Traffic Impact Analysis by Transportation Engineering NorthWest (dated February 4, 2015); a Preliminary Drainage Report by WHPacific (dated July 7, 2014); and an Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015). The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and east of the project.

PROJECT LOCATION: SW Corner of Naches Ave SW & SW 27th St
LEAD AGENCY: City of Renton
Environmental Review Committee
Department of Community & Economic Development

The City of Renton Environmental Review Committee has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). Conditions were imposed as mitigation measures by the Environmental Review Committee under their authority of Section 4-9-070D Renton Municipal Code. These conditions are necessary to mitigate environmental impacts identified during the environmental review process. Because other agencies of jurisdiction may be involved, the lead agency will not act on this proposal for fourteen (14) days.

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on April 10, 2015. Appeals must be filed in writing together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by RMC 4-8-110 and more information may be obtained from the Renton City Clerk's Office, (425) 430-6510.

PUBLICATION DATE: March 27, 2015
DATE OF DECISION: March 23, 2015

DEPARTMENT OF COMMUNITY
AND ECONOMIC DEVELOPMENT



SIGNATURES:

Gregg Zimmerman
Gregg Zimmerman, Administrator
Public Works Department

3/23/15
Date

Mark Peterson
Mark Peterson, Administrator
Fire & Emergency Services

3/23/15
Date

Terry Higashiyama
Terry Higashiyama, Administrator
Community Services Department

3/23/15
Date

C.E. Vincent
C.E. "Chip" Vincent, Administrator
Department of Community &
Economic Development

3/23/15
Date

**DETERMINATION OF NON-SIGNIFICANCE-MITIGATED (DNS-M)
MITIGATION MEASURES AND ADVISORY NOTES**

PROJECT NUMBER: LUA15-000076, ECF, SA-H
APPLICANT: Dave Williams, Ryan Companies US, Inc.
PROJECT NAME: Longacres Business Center

The applicant, Ryan Companies U.S. Inc., is requesting Hearing Examiner Site Plan Review, SEPA Environmental Review, and a Street Modification for two (2) standalone buildings totaling 250,825 square feet. The vacant 11.8 acre site, called Longacres Business Center, consists of five (5) parcels (APN 088670-0270, -0280, -0290, -0300, and -0310) at the SW Corner of SW 27th St and Naches Ave SW. Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. The site is part of the original 158 acres of property known as the Longacres Office Park. Site access will be served through a single right in/right out only to SW 27th St, two entrances along Naches Ave SW, and a fourth off the existing cul-de-sac. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The site contains High Seismic Hazards. The site is not in the 100-year flood zone and currently no wetlands, streams, lakes or critical habitats are identified on the property. The applicant is proposing to strip the site of all vegetation. One of the original nine (9) trees, on or near the southwest property line, was identified on the landscaping plan as being retained. The site will be replanted with 158 deciduous street trees and 71 evergreen trees.

The applicant submitted a Geotechnical Study by Terra Associates, Inc. (dated January 26, 2015); a Traffic Impact Analysis by Transportation Engineering NorthWest (dated February 4, 2015); a Preliminary Drainage Report by WHPacific (dated July 7, 2014); and an Environmental Setting Report by Terracon Consultants, Inc. (dated February 5, 2015). The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and east of the project.

PROJECT LOCATION: SW Corner of SW 27th St and Naches Ave SW
(Approximately at 2715 Naches Ave SW)

LEAD AGENCY: The City of Renton
Department of Community & Economic Development
Planning Division

MITIGATION MEASURES:

1. Project construction shall be required to comply with the recommendations found in the Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015).
2. The applicant shall provide street frontage improvements on the south side of SW 27th Street (Stander Blvd) right-of-way. Street improvements shall include a six-foot planter strip followed by a six-foot concrete sidewalk. The street frontage right-of-way improvements shall begin at the southwest intersection of SW 27th Street and Naches Ave SW and continue west towards Burlington Northern Railroad for a total distance of 360 feet beyond the existing intersection centerline or until the easterly limits of the existing fire hydrant located approximately 65 feet west of the proposed driveway access on SW 27th Street.
3. The applicant shall provide a minimum 30-foot wide landscaped buffer with a berm along SW 27th Street. The 30-foot landscape berm shall begin measuring from behind the required six-foot sidewalk. The width of the buffer may be reduced to no less than 15 feet near the existing retaining wall at the northwest property line.
4. The applicant shall be subject to independent secondary peer review of the submitted Geotechnical Study conducted by Terra Associates, Inc. (dated January 26, 2015) for the proposed surcharging to obtain the desired net allowable bearing capacity for the conventional spread footing design of the two-story building. The secondary review shall be at the expense of the applicant. The applicant may forgo secondary review should they choose an alternate ground improvement technique, such as vibrated stone columns or aggregate rammed piers, due to the site's high seismic hazards.

ADVISORY NOTES:

The following notes are supplemental information provided in conjunction with the administrative land use action. *Because these notes are provided as information only, they are not subject to the appeal process for the land use actions.*

Plan – Planning Review

Engineering Review Comments	Vicki Grover 425-430-7291 vgrover@rentonwa.gov
Recommendations: <ul style="list-style-type: none">▪ Grading plan needs to show existing contours, proposed contours and some spot elevations.▪ Include the required 12 inch water main connection to the City's water main in Oakesdale Ave. SW. This is a requirement to achieve the necessary fire flow for the development. The location shown within SW 27th Street is not allowed. Street frontage improvements are required based on the Strander Blvd Typical Roadway Section provided in the Pre-App.	

Engineering Review CommentsVicki Grover | 425-430-7291 | vgrover@rentonwa.gov

- The geotech is recommending surcharging the site. Is this a possibility? If so what will the building foundations be? If not what building foundations will be proposed?
- Reference the storm water manual that you are designing to in the TIR.
- See Pg. 4.3.4-15 in Chapter 4 of the 1990 KCSWDM for the peak rate runoff to be used for the Uniform Flow Analysis Method and the Backwater Analysis Method for pipe sizing.
- Include the core requirements 1-7 and the special requirements 1-8 in Chapter 1 of the 1990 KCSWDM.

Fire Review - Building CommentsCorey Thomas | 425-430-7024 | cthomas@rentonwa.gov

Recommendations: Environmental Impact Comments:

1. Fire impact fees are applicable at the rate of \$0.14 per square foot of commercial office/laboratory space and \$0.08 per square foot of industrial/manufacturing space. This fee is paid at time of building permit issuance.

Code Related Comments:

1. The preliminary fire flow is 5,250 gpm. A minimum of one hydrant is required within 150 feet of each structure and five additional hydrants are required within 300 feet of each structure. Applicant shall also meet maximum hydrant spacing of 600 feet on center. A looped water main is required to be installed around the buildings. Due to existing dead end mains feeding this area, it appears adequate fire flow is not available in this area. Further off site water main loops are required to provide adequate fire flow.
2. Approved fire sprinkler and fire alarm systems are required throughout the building. Separate plans and permits required by the fire department. Direct outside access is required to the fire sprinkler riser room. Fully addressable and full detection is required for the fire alarm system.
3. Fire department apparatus access roadways are required within 150 feet of all points on the building. Fire lane signage required for the onsite roadway. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Roadways shall support a minimum of a 30 ton vehicle and 322 psi point loading.
4. An electronic site plan is required prior to occupancy for pre fire planning purposes.
5. All medical office buildings equipped with an elevator in the City of Renton are required to have at least one elevator meet the size requirements for a bariatric size stretcher. Car size shall accommodate a minimum of a 40 inch by 84 inch stretcher.
6. The buildings shall comply with the City of Renton Emergency Radio Coverage ordinance. Testing shall verify both incoming and outgoing minimum emergency radio signal coverage. If inadequate, the building shall be enhanced with amplification equipment in order to meet minimum coverage. Separate plans and permits are required for any proposed amplification systems.
7. Applicant shall provide a completed Hazardous Material Inventory Statement prior to building permit issuance. Use of City of Renton form or approved equivalent is required.

Planning Review Comments

Clark Close | 425-430-7289 | cclose@rentonwa.gov

Recommendations:

1. RMC section 4 4 030.C.2 limits haul hours between eight thirty (8:30) a.m. and three thirty (3:30) p.m., Monday through Friday unless otherwise approved in advance by the Development Services Division.
2. Commercial and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays is by permission only. No work is permitted on Sundays.
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plants appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.
4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.

Police Review Comments

Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

Recommendations: 258 CFS Estimated Annually

POLICE RELATED COMMENTS

To protect materials and equipment it is recommended that all materials and tools be locked up when not in use. The site will need security lighting and any construction trailer should be completely fenced in with portable chain link fencing. The fence will provide both a physical and psychological barrier to any prospective thief and will demonstrate that this area is private property. Construction trailers should be kept locked when not in use, and should also have a heavy duty deadbolt installed with no less than a 1 1/2" throw when bolted.

Glass windows in the trailer should be shatter resistant.

I also recommend the business post the appropriate "No Trespassing" signs on the property while it's under construction. This will aid police in making arrests on the property after hours if suspects are observed vandalizing or stealing building materials. Due to the isolated location of this site, the use of private security personnel to patrol the site during the hours of darkness is recommended.

All exterior doors should be made of solid metal or metal over wood, with heavy duty deadbolt locks, latch guards or pry resistant cylinders around the locks, and peepholes. If glass doors are used, they should be fitted with the hardware described above and additionally be fitted with a layer of security film. Security film can increase the strength of the glass by up to 300%, greatly reducing the likelihood of breaking glass to gain entry. Access to the back of the buildings should be limited, preferably with security fencing, as these areas could be vulnerable to crime due to the lack of natural surveillance by business customers or employees.

Police Review Comments

Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

It is recommended that the commercial areas be monitored with recorded security alarm systems installed. It's not uncommon for businesses to experience theft and/or vandalism during the hours of darkness. An auxiliary security service could be used to patrol the property during those times. It is important to direct all foot traffic towards the main entrance of the buildings. Any alternative employee entrances should have controlled access doors to prevent trespassing.

All areas of this project need to have adequate lighting. This will assist in the deterrent of theft from motor vehicle (one of the most common crimes in Renton) as well as provide safe pedestrian travel for both employees and customers.

Both structures should have building numbers clearly posted with numbers at least 12" in height and of a color contrasting with the building. This will assist emergency personnel in locating the correct location for response.

Landscaping should be installed with the objective of allowing visibility – not too dense and not too high. Too much landscaping will make customers and employees feel isolated and will provide criminals with concealment to commit crimes such as burglary. With the expanse of land surrounding this site, there is also the possibility of attracting transients to this area. It's important to keep the dumpster areas located within a housing and locked when not in use.

I highly recommend that the developer have a Renton Police Crime Prevention Representative conduct a security survey of the premises once construction is complete. Contact Holly Trader, 425.430.7519 when you would like to make an appointment.

Technical Services Comments

Bob Mac Onie | 425-430-7369 | bmaconie@rentonwa.gov

Recommendations: Short Plat: Bob Mac Onie 02/19/2015

This project requires a Lot Combination into a single lot or a lot line adjustment such that the required parking is on the same lot as each structure.

Community Services Comments

Leslie Betlach | 425-430-6619 | lbetlach@rentonwa.gov

Recommendations:

- A. A sidewalk was recently constructed on the north side of SW 27th Street. The sidewalk is to serve both pedestrians and bicyclists until a separated multi-use trail is constructed. The City recommends a crosswalk crossing from the south side of SW 27th Street to the north side for connectivity.
- B. There are no impacts to parks.
- C. Street trees - On SW 27th Street
 1. At the SW corner of 27th/Naches is a stop sign and street light. The first tree shall be planted 40 feet from the stop sign.
 2. Do not plant closer than 30 feet from street lights.
 3. Too many street trees shown. Spacing shall be 1 tree every 50 feet and not closer (equal to 6 trees total).
 4. Maintain a minimum distance of 6 feet to a fire hydrant.
 5. Apply similar treatment to area from last westerly tree shown to the west property line.
 6. Add sidewalk between planting strip and property line.

Community Services CommentsLeslie Betlach | 425-430-6619 | lbetlach@rentonwa.gov

On Naches Ave SW

7. Show only 14 street trees (currently shows too many trees). One tree every 50 feet of frontage.
8. Eliminate street tree at mid-entrance to plot - south tree.
9. Cul-de-Sac Street (Naches Ave SW)
10. Show only 5 street trees.
11. Species Selection for street trees
12. Do not use *Quercus robur*, other oak species of any nut producing trees.
13. *Tilia cordata* 'Greenspire' is a poor cultivar, do not use and select other cultivar or species.

City of
RENTON



NOTICE

**OF ENVIRONMENTAL DETERMINATION AND PUBLIC HEARING
ISSUANCE OF A DETERMINATION OF NONSIGNIFICANCE - MITIGATED (DNS-M)
POSTED TO NOTIFY INTERESTED PERSONS OF AN ENVIRONMENTAL ACTION**

PROJECT NAME: Longacres Business Center
PROJECT NUMBER: LUA15-000076, ECF, SA-H
LOCATION: SW Corner of SW 27th St and Naches Ave SW (Approximately at 2715 Naches Ave SW)

DESCRIPTION: The applicant, Ryan Companies U.S. Inc., is requesting Hearing Examiner Site Plan Review, SEPA Environmental Review, and a street modification in order to construct two (2) standalone buildings totaling 250,825 square feet. The vacant 11.8 acre site, called Longacres Business Center, consists of five (5) parcels (APN 088670-0270, -0280, -0290, -0300, and -0310). Building A is a three-story 146,910 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate tilt-up concrete panels in conjunction with steel framing and light gauge metal construction with heights at roughly 46 feet and 36 feet. The site is part of the original 158 acres of property known as the Longacres Office Park. Site access will be served through a single right in/right out only to SW 27th St, two entrances along Naches Ave SW, and a fourth off the existing cul-de-sac. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 790 surface parking stalls with a minimum 10-foot wide landscaped perimeter with up to 30 feet along SW 27th St with berming. The site contains High Seismic Hazards. The site is not in the 100-year flood zone and currently no wetlands, streams, lakes or critical habitats are identified on the property. The applicant is proposing to strip the site of all vegetation. One of the original nine (9) trees, on or near the southwest property line, was identified on the landscaping plan as being retained. The site will be replanted with 158 deciduous street trees and 71 evergreen trees.

The applicant submitted a Geotechnical Study by Terra Associates, inc. (dated January 26, 2015); a Traffic Impact Analysis by Transportation Engineering NorthWest (dated February 4, 2015); a Preliminary Drainage Report by WHPacific (dated July 7, 2014); and an Environmental Setting Report by Terracon Consultants, inc. (dated February 5, 2015). The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and east of the project.

THE CITY OF RENTON ENVIRONMENTAL REVIEW COMMITTEE (ERC) HAS DETERMINED THAT THE PROPOSED ACTION HAS PROBABLE SIGNIFICANT IMPACTS THAT CAN BE MITIGATED THROUGH MITIGATION MEASURES.

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on April 10, 2015, together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by City of RMC 4-8-110 and information regarding the appeal process may be obtained from the Renton City Clerk's Office, (425) 430-6510.

A PUBLIC HEARING WILL BE HELD BY THE RENTON HEARING EXAMINER AT HIS REGULAR MEETING IN THE COUNCIL CHAMBERS ON THE 7TH FLOOR OF CITY HALL, 1055 SOUTH GRADY WAY, RENTON, WASHINGTON, ON **APRIL 14, 2015** AT 11:00 AM TO CONSIDER THE SITE PLAN REVIEW. IF THE ENVIRONMENTAL DETERMINATION IS APPEALED, THE APPEAL WILL BE HEARD AS PART OF THIS PUBLIC HEARING.



FOR FURTHER INFORMATION, PLEASE CONTACT THE CITY OF RENTON, DEPARTMENT OF COMMUNITY DEVELOPMENT, 30-7200.

**DO NOT REMOVE
PLEASE INCLUDE THE PROJECT IDENTIFICATION**

EXHIBIT 30

**THORZON AUTHORIZATION
FOR FILE IDENTIFICATION.**

City of
RENTON

NOTICE

**OF ENVIRONMENTAL DETERMINATION AND PUBLIC HEARING
ISSUANCE OF A DETERMINATION OF NONSIGNIFICANCE - MITIGATED (DNS-IM)
POSTED TO NOTIFY INTERESTED PERSONS OF AN ENVIRONMENTAL ACTION**

PROJECT NAME: Longacres Business Center
PROJECT NUMBER: LUASIS-000076, ECF, SA-H
LOCATION: SW Corner of SW 27th St and Naches Ave SW (Approximately at 2715 Naches Ave SW)

DESCRIPTION: The applicant, Ryan Companies U.S. Inc., is requesting Hearing Examiner Site Plan Review, SEPA Environmental Review, and a street modification in order to construct two (2) standalone buildings totaling 250,818 square feet. The vacant 32.8 acre site, called Longacres Business Center, consists of five (5) parcels (APN 03070-0270, 0280, 0290, -0300, and -0310). Building A is a three-story 156,810 SF general office use building and Building B is a two-story general office, laboratory, and warehouse space building. The two buildings will incorporate lift-up concrete panels in conjunction with steel framing and light gauge metal construction with heights of roughly 48 feet and 36 feet. The site is part of the original 158 acres of property known as the Longacres Office Park. Site access will be served through a single right of way on only SW 27th St, two entrances along Naches Ave SW, and a fourth off the existing sub-division. The project site is located in the Employment Area Valley (EAV) land use designation and the Commercial Office (CO) zone. The site plan includes 70 surface parking stalls with a minimum 50-foot wide landscaped perimeter with up to 30 trees along SW 27th St with hawking. The site contains High Seismic Hazards. The site is not in the 100-year flood zone and currently no wetlands, streams, lakes or critical habitats are identified on the property. The applicant is proposing to strip the site of all vegetation. One of the original sites (B) trees, on or near the southwest property line, was identified on the landscaping plan as being retained. The site will be replanted with 58 deciduous street trees and 71 evergreen trees.

The applicant submitted a Geotechnical Study by Terra Associates, Inc. (dated January 26, 2015); a Traffic Impact Analysis by Transportation Engineering Northwest (dated February 4, 2015); a Preliminary Drainage Report by WWPacific (dated July 7, 2014); and an Environmental Setting Report by Terreon Consultants, Inc. (dated February 4, 2015). The project site was included in the design of the existing storm drainage treatment system located across Naches Ave SW to the south and west of the project.

THE CITY OF RENTON ENVIRONMENTAL REVIEW COMMITTEE (ERC) HAS DETERMINED THAT THE PROPOSED ACTION HAS PROBABLE SIGNIFICANT IMPACTS THAT CAN BE MITIGATED THROUGH MITIGATION MEASURES.

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on April 10, 2015, together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by City of RMC 4-8-110 and information regarding the appeal process may be obtained from the Renton City Clerk's Office, (425) 430-6510.

A PUBLIC HEARING WILL BE HELD BY THE RENTON HEARING EXAMINER AT HIS REGULAR MEETING IN THE COUNCIL CHAMBERS ON THE 7TH FLOOR OF CITY HALL, 1055 SOUTH GRADY WAY, RENTON, WASHINGTON, ON APRIL 14, 2015 AT 11:00 AM TO CONSIDER THE SITE PLAN REVIEW. IF THE ENVIRONMENTAL DETERMINATION IS APPEALED, THE APPEAL WILL BE HEARD AS PART OF THIS PUBLIC HEARING.



FOR FURTHER INFORMATION, PLEASE CONTACT THE CITY OF RENTON, DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT AT (425) 430-7200.
DO NOT REMOVE THIS NOTICE WITHOUT PROPER AUTHORIZATION

PLEASE INCLUDE THE PROJECT NUMBER WHEN CALLING FOR PROPER FILE IDENTIFICATION.

CERTIFICATION

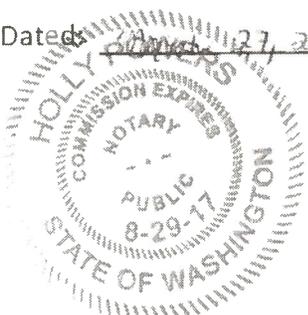
I, CLARK H. CLOSE, hereby certify that 3 copies of the above document were posted in 3 conspicuous places or nearby the described property on

Date: 3/27/15 Signed: Clark H. Close

STATE OF WASHINGTON)
) SS
COUNTY OF KING)

I certify that I know or have satisfactory evidence that Clark H. Close signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: 3/27, 2015 Holly Powers
Notary Public in and for the State of Washington



Notary (Print): Holly Powers

My appointment expires: August 29, 2017